

The illustrative plans shown above are for illustrative purposes only and are not intended to be used as a basis for any construction or other works. The illustrative plans are subject to change without notice and the applicant shall be responsible for ensuring that the illustrative plans are up to date and accurate at all times. The illustrative plans are subject to the requirements of the Planning and Building Acts 2022 and any other applicable legislation. The illustrative plans are subject to the requirements of the Planning and Building Acts 2022 and any other applicable legislation. The illustrative plans are subject to the requirements of the Planning and Building Acts 2022 and any other applicable legislation. The illustrative plans are subject to the requirements of the Planning and Building Acts 2022 and any other applicable legislation.

- LEGEND**
- - - Planning Application Boundary
  - Waterways
  - Flood Wall Location
  - Zone For Bridge Abutment Integration
  - Retained / Existing Structures
  - Max. Building Line
  - Zone for Parcel Division
  - Zone for Building Line Extension (Localised)
  - Ouse Walk
  - Zone for Bridge Public Realm Areas
  - Zone for Proposed Highway Access
  - Zone for Proposed Lay-by
  - Zone for Proposed Highways Improvements

**5C Parameter**  
The 5C parameter footprint shown above is also applied for in order to allow an alternative form of development within this parameter to come forward only if the use of 1-3 Corporation Villas changes from Dwelling Houses (C3) to any use other than a Class C1 or C2 use. In this case, where such a change of use occurs, the Max AOD is +25.63 (up to 5 storeys).

- Note:** The Parameter Plans 0080-PR-22-ZZ-DR-L-1000 series form part of The Phoenix outline planning application & should be read in conjunction with the following documents:
- The Illustrative Plans 0080-PR-22-ZZ-DR-L-1000 series
  - The Site Plans 0080-PR-22-ZZ-DR-L-0100 series
  - The Strategy Plans 0080-PR-22-ZZ-DR-L-0200 series
  - The Phasing Plans 0080-PR-22-ZZ-DR-L-1100 series
  - The Site Sections 0080-PR-22-ZZ-DR-L-2100 series
  - The Plot Area Schedule - Parameter 0080-PR-22-ZZ-DR-A-9106
  - The Design Code 0080-PR-22-ZZ-DR-A-9106
  - The Design and Access Statement 0080-PR-22-ZZ-DR-A-9106

Refer to the Flood Wall detail application for further detail design. For civil and structural engineering works, refer to the Engineer's drawings. A maximum 10% of the plan may project higher than the stated AOD height for the purpose of lift overruns, chimneys, flues and other plant machinery. These elements must be set back from the edges of the building.

**Revisions**

Rev	Date	Reason for Issue	CHK
017	14.12.23	P02 - Issue with Updates	DR
016	11.12.23	P02 - Issue with Updates	DR
015	29.11.23	P02 - Planning Issue	DR
014	25.08.23	Issue for ROPMA	DR
013	23.08.23	P01 - Planning Issue	DR
012	19.07.23	Issue for review	DR
011	24.01.23	P00 - Planning Issue	DR

**Keyplan**



Scale Bar  
0 50m

Integrated Design Team

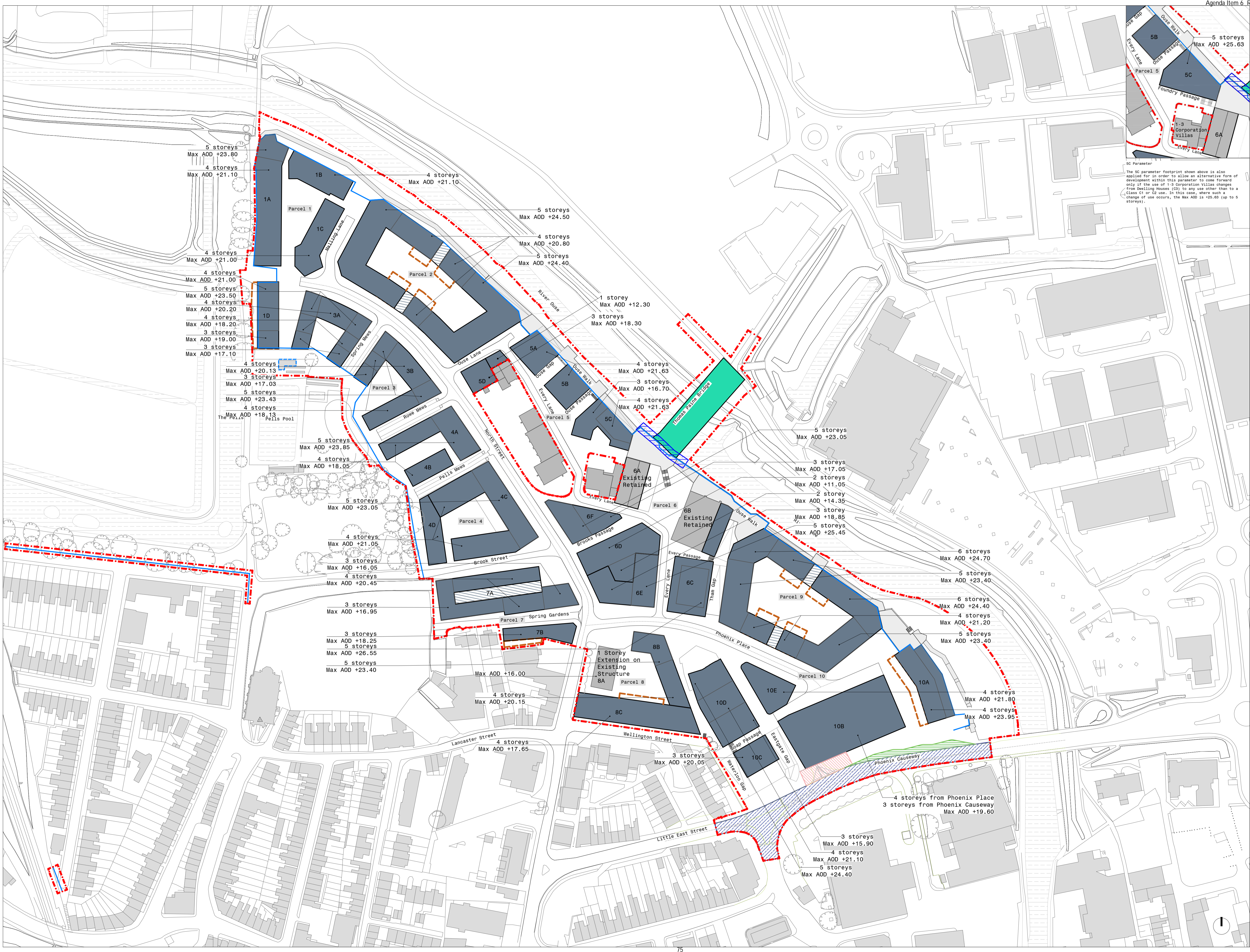


Client  
**Human Nature**

Project  
**The Phoenix**

Drawing Title  
**Parameter Plan  
Maximum Building AOD  
and Parcel Heights**

Project Number	Status
0080	Planning
Scale at A1	Date
1:1000	19.07.2023
Drawn by	Checked by
RF	DR
Drawing Number	Rev
0080-PR-22-ZZ-DR-L-1006	017



Note: The Parameter Plans 0080-PR-22-ZZ-DR-L-1000 series form part of the Phoenix outline planning application & should be read in conjunction with the following documents:

- The Illustrative Plans 0080-PR-22-ZZ-DR-L-0000 series
  - The Site Plans 0080-PR-22-ZZ-DR-L-0100 series
  - The Strategy Plans 0080-PR-22-ZZ-DR-L-0200 series
  - The Phasing Plans 0080-PR-22-ZZ-DR-L-1100 series
  - The Site Sections 0080-PR-22-ZZ-DR-L-2100 series
  - The Plot Area Schedule - Parameter 0080-PR-22-ZZ-SH-A-9106
  - The Design Code 0080-PR-22-A-Design Code
  - The Design and Access Statement 0080-PR-22-A-DAS
- Refer to the Flood Wall detail application for further detail design. For civil and structural engineering works, refer to the Engineer's drawings.

Revisions

Rev	Date	Reason for Issue	CHK
015	29.11.23	P02 - Planning Issue	DR
014	23.08.23	P01 - Planning Issue	DR
013	19.07.23	Issue for review	DR
012	14.04.23	Issue for review	DR
011	24.01.23	P00 - Planning Issue	DR

Keyplan



Scale Bar  
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Integrated Design Team



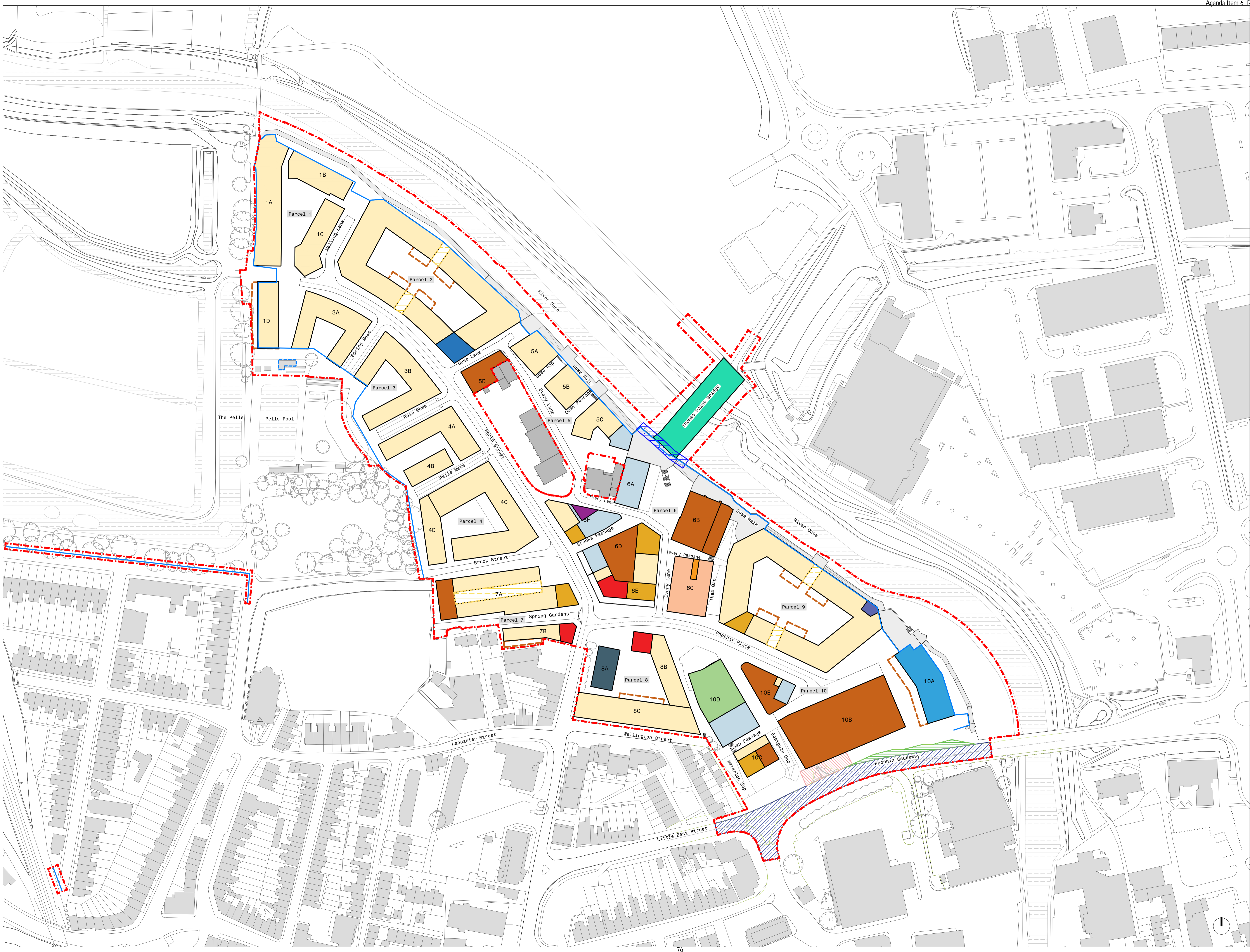
Client  
**Human Nature**

Project  
**The Phoenix**

Drawing Title  
**Parameter Plan  
Predominant Land Use at  
Ground Level**

Project Number	Status
0080	Planning
Scale at A1	Date
1:1000	19.07.2023
Drawn by	Checked by
RF	DR

Drawing Number	Rev
0080-PR-22-ZZ-DR-L-1002	015



Note: The Parameter Plans 0080-PR-22-ZZ-DR-L-1000 series form part of the Phoenix outline planning application & should be read in conjunction with the following documents:

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  - The Site Plans 0080-PR-22-ZZ-DR-L-0100 series
  - The Strategy Plans 0080-PR-22-ZZ-DR-L-0200 series
  - The Phasing Plans 0080-PR-22-ZZ-DR-L-1100 series
  - The Site Sections 0080-PR-22-ZZ-DR-L-2100 series
  - The Plot Area Schedule - Parameter 0080-PR-22-ZZ-SH-A-9106
  - The Design Code 0080-PR-22-A-Design Code
  - The Design and Access Statement 0080-PR-22-A-DAS
- Refer to the Flood Wall detail application for further detail design. For civil and structural engineering works, refer to the Engineer's drawings.

Revisions

Rev	Date	Reason for Issue	CHK
014	29.11.23	P02 - Planning Issue	DR
013	23.08.23	P01 - Planning Issue	DR
012	19.07.23	Issue for review	DR
011	14.04.23	Issue for review	DR
010	24.01.23	P00 - Planning Issue	DR

Keyplan



Scale Bar  
0 50m

Integrated Design Team



Client  
**Human Nature**

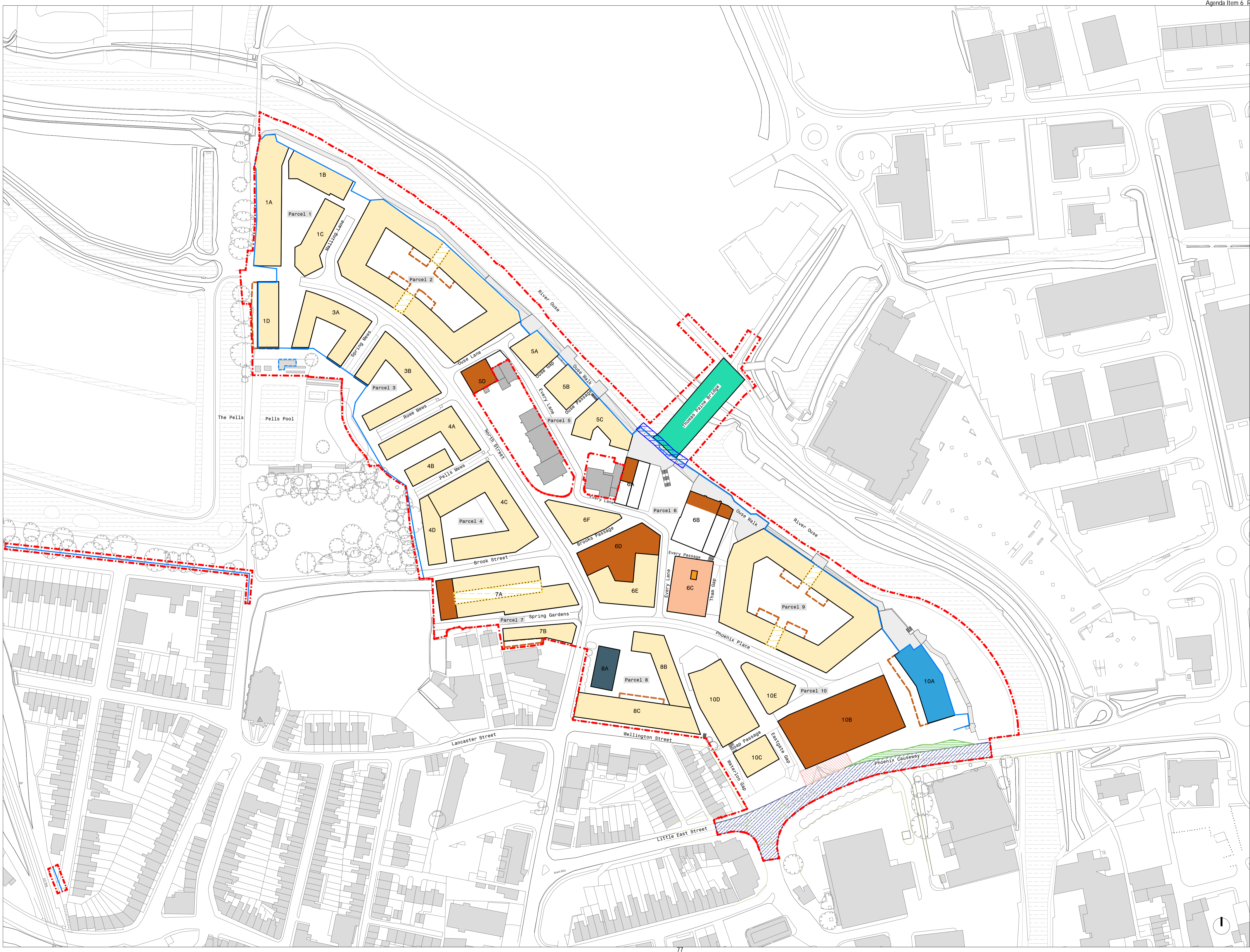
Project  
**The Phoenix**

Drawing Title  
**Parameter Plan  
Predominant Land Use at  
First Floor Level**

Project Number <b>0080</b>	Status <b>Planning</b>
Scale at A1 <b>1:1000</b>	Date <b>19.07.2023</b>
Drawn by <b>RF</b>	Checked by <b>DR</b>

Drawing Number  
0080-PR-22-ZZ-DR-L-1003

Rev  
014



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**LEGEND**

- planning Application
- Boundary
- Waterways
- Flood Wall Location
- Zone For Bridge Abutment Integration
- Sui Generis
- B8 Boat Storage
- C1 Hotels
- C3 Dwellinghouses
- E(a) Retail (not hot food)
- E(b) Food & Beverage (on site)
- E(c)(i)(i)/(ii) Professional/other services
- E(d) Sport/recreation/fitness
- E(e) Health Services
- E(f) Creche/day nursery/centre
- E(g)(i) Flexible Workspaces
- E(g)(ii)/(iii) Creative Workspaces
- F1 Non-resi institutes
- Zone for Parcel Division
- Zone for Building Line Extension (Localised)
- Ouse Walk
- Zone for Bridge Public Realm
- Zone for Proposed Highway Access
- Zone for Proposed Lay-by
- Zone for Proposed Highways Improvements

Note: The Parameter Plans 0080-PR-22-ZZ-DR-L-1000 series form part of the Phoenix outline planning application & should be read in conjunction with the following documents:

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- The Phasing Plans 0080-PR-22-ZZ-DR-L-1100 series
- The Site Sections 0080-PR-22-ZZ-DR-L-2100 series
- The Plot Area Schedule - Parameter 0080-PR-22-ZZ-SH-A-9106
- The Design Code 0080-PR-22-ZZ-DR-L-Design Code
- The Design and Access Statement 0080-PR-22-ZZ-DR-L-DAS

Refer to the Flood Wall detail application for further detail design. For civil and structural engineering works, refer to the Engineer's drawings.

Revisions

Rev	Date	Reason for Issue	CHK
014	29.11.23	P02 - Planning Issue	DR
013	23.08.23	P01 - Planning Issue	DR
012	19.07.23	Issue for review	DR
011	14.04.23	Issue for review	DR
010	24.01.23	P00 - Planning Issue	DR

Keyplan



Scale Bar  
0 50m

Integrated Design Team



Client  
**Human Nature**

Project  
**The Phoenix**

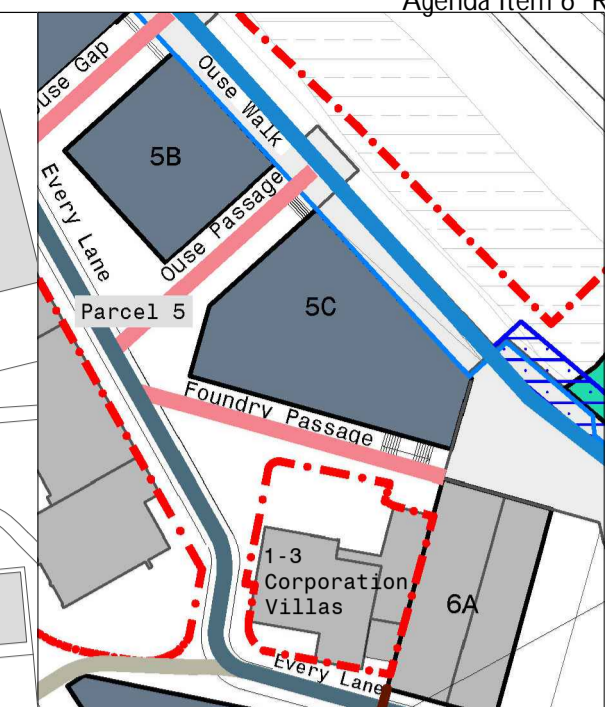
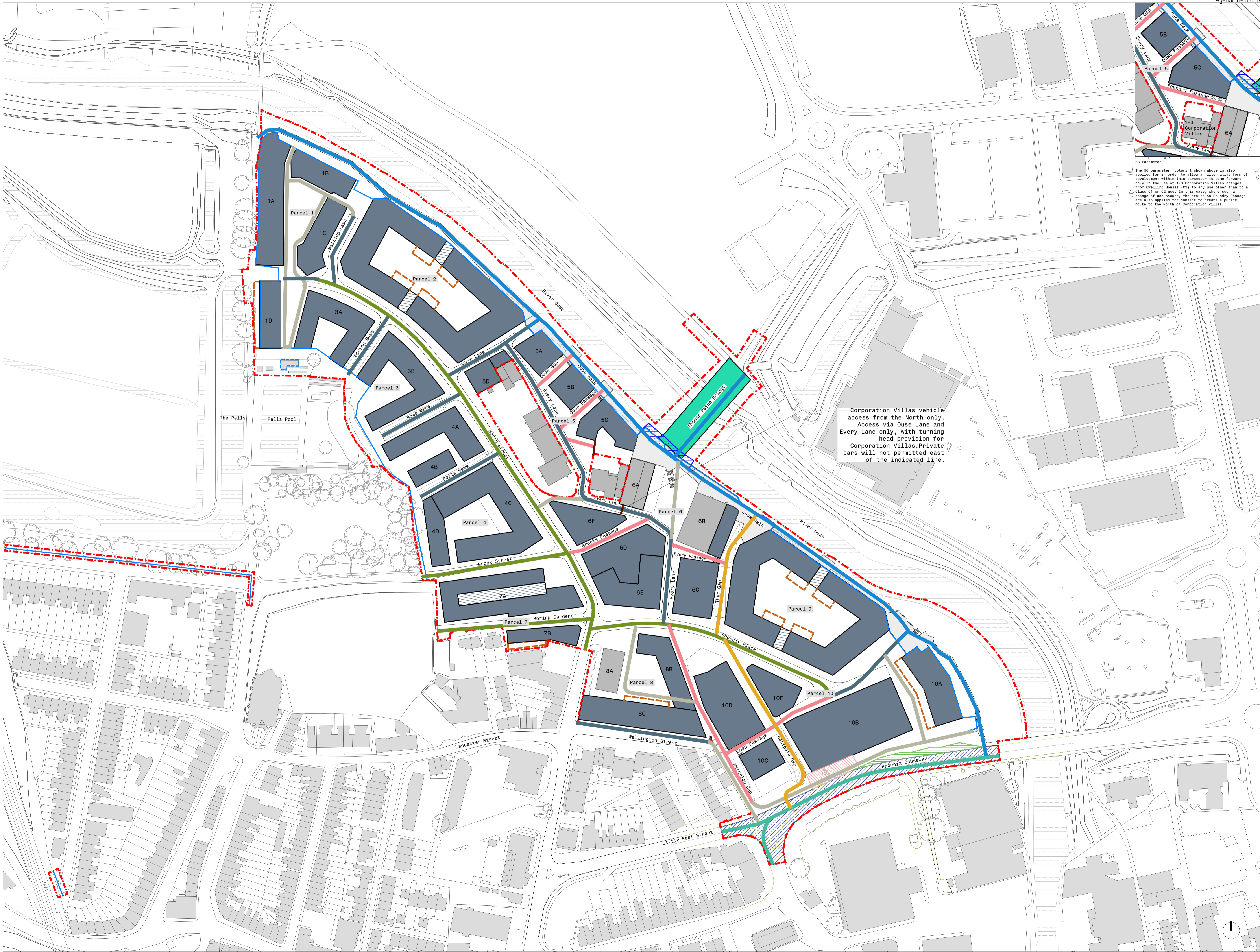
Drawing Title  
**Parameter Plan  
Predominant Land Use at  
Typical Upper Levels**

Project Number <b>0080</b>	Status <b>Planning</b>
Scale at A1 <b>1:1000</b>	Date <b>19.07.2023</b>
Drawn by <b>RF</b>	Checked by <b>DR</b>

Drawing Number  
0080-PR-22-ZZ-DR-L-1004

Rev  
014





The 5C parameter footprint shown above is also applied for in order to allow an alternative form of development within this parameter to come forward only if the use of 1-3 Corporation Villas changes from Dwelling Houses (C3) to any use other than a Class C1 or C2 use. In this case, where such a change of use occurs, the stairs on Foundry Passage are also applied for consent to create a public route to the North of Corporation Villas.

- LEGEND**
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  - Waterways
  - Flood Wall Location
  - Zone For Bridge Abutment Integration
  - Retained / Existing Structures
  - Max. Building Line
  - Zone for Parcel Division
  - Zone for Building Line Extension (Localised)
  - Ouse Walk
  - Zone for Bridge Public Realm Areas
  - Zone for Proposed Highway Access
  - Zone for Proposed Lay-by
  - Zone for Proposed Highways Improvements
  - Primary Street (Phoenix Causeway, Little East Street/ Eastgate Street)
  - Secondary Street (Private vehicles, refuse, servicing, emergency and dedicated cycle route)
  - Tertiary Street - Mews Lane (Pedestrian and cycle priority, servicing/emergency vehicles only)
  - Twitten (Enclosed path for pedestrian and cycle access only)
  - Pedestrian Route
  - Riverfront Walk (Pedestrian and cycle access only)
  - Primary Cycle Route (Cycle priority)

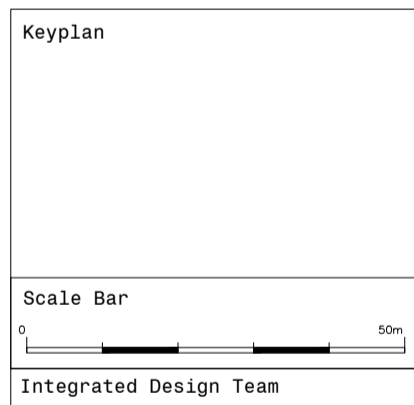
Note: The Parameter Plans 0080-PR-22-22-DR-L-1000 series form part of the Phoenix outline planning application & should be read in conjunction with the following documents:

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- The Site Plans 0080-PR-22-22-DR-L-0100 series
- The Strategy Plans 0080-PR-22-22-DR-L-0200 series
- The Phasing Plans 0080-PR-22-22-DR-L-1100 series
- The Site Sections 0080-PR-22-22-DR-L-2100 series
- The Plot Area Schedule - Parameter 0080-PR-22-22-SH-A-9106
- The Design Code 0080-PR-22-22-DR-L-Design Code
- The Design and Access Statement 0080-PR-22-22-DR-L-DAS

Refer to the Flood Wall detail application for further detail design. For civil and structural engineering works, refer to the Engineer's drawings.

Revisions

Rev	Date	Reason for Issue	CHK
013	29.11.23	P02 - Planning Issue	DR
012	23.08.23	P01 - Planning Issue	DR
011	19.07.23	Issue for review	DR
010	24.01.23	P00 - Planning Issue	DR



Client  
**Human Nature**

Project  
**The Phoenix**

Drawing Title  
**Parameter Plan Vehicular Access and Circulation**

Project Number <b>0080</b>	Status <b>Planning</b>
Scale at A1 <b>1:1000</b>	Date <b>19.07.2023</b>
Drawn by <b>RF</b>	Checked by <b>DR</b>
Drawing Number <b>0080-PR-22-22-DR-L-1007</b>	Rev <b>013</b>

This drawing should not be used for any other purpose than that for which it is intended. It is the responsibility of the user to ensure that the drawing is used in accordance with the relevant standards and specifications. Any errors and omissions shall be reported to the architect.

- LEGEND**
- Planning Application
  - Boundary
  - Waterways
  - Flood Wall Location
  - Zone For Bridge Abutment Integration
  - Retained / Existing Structures
  - Max. Building Line
  - Zone for Parcel Division
  - Zone for Building Line Extension (Localised)
  - Ouse Walk
  - Zone for Bridge Public Realm Areas
  - Zone for Proposed Highway Access
  - Zone for Proposed Lay-by
  - Zone for Proposed Highways Improvements
  - 15 minute on street Parking Zone/ HN Operated Loading Bay
  - Blue Badge Parking Zone, Accessible Bay incl 1200mm Clear Zone on Footway
  - Health Centre Associated Car Park - Blue Badge Only
  - Health Centre Associated drop off
  - CoMobility E-car charging/ HN arrival car hire TBC
  - CoMobility services incl Last Mile Logistics

Note: The Parameter Plans 0080-PR-22-ZZ-DR-L-1000 series form part of the Phoenix outline planning application & should be read in conjunction with the following documents:

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- The Site Plans 0080-PR-22-ZZ-DR-L-0100 series
- The Strategy Plans 0080-PR-22-ZZ-DR-L-0200 series
- The Phasing Plans 0080-PR-22-ZZ-DR-L-1100 series
- The Site Sections 0080-PR-22-ZZ-DR-L-2100 series
- The Plot Area Schedule - Parameter 0080-PR-22-ZZ-SH-A-9106
- The Design Code 0080-PR-RP-A-Design Code
- The Design and Access Statement 0080-PR-RP-A-DAS

Refer to the Flood Wall detail application for further detail design. For civil and structural engineering works, refer to the Engineer's drawings.

Revisions

Rev	Date	Reason for Issue	CHK
014	29.11.23	P02 - Planning Issue	DR
013	23.08.23	P01 - Planning Issue	DR
012	19.07.23	Issue for review	DR
011	24.01.23	P00 - Planning Issue	DR

Keyplan



Client  
**Human Nature**

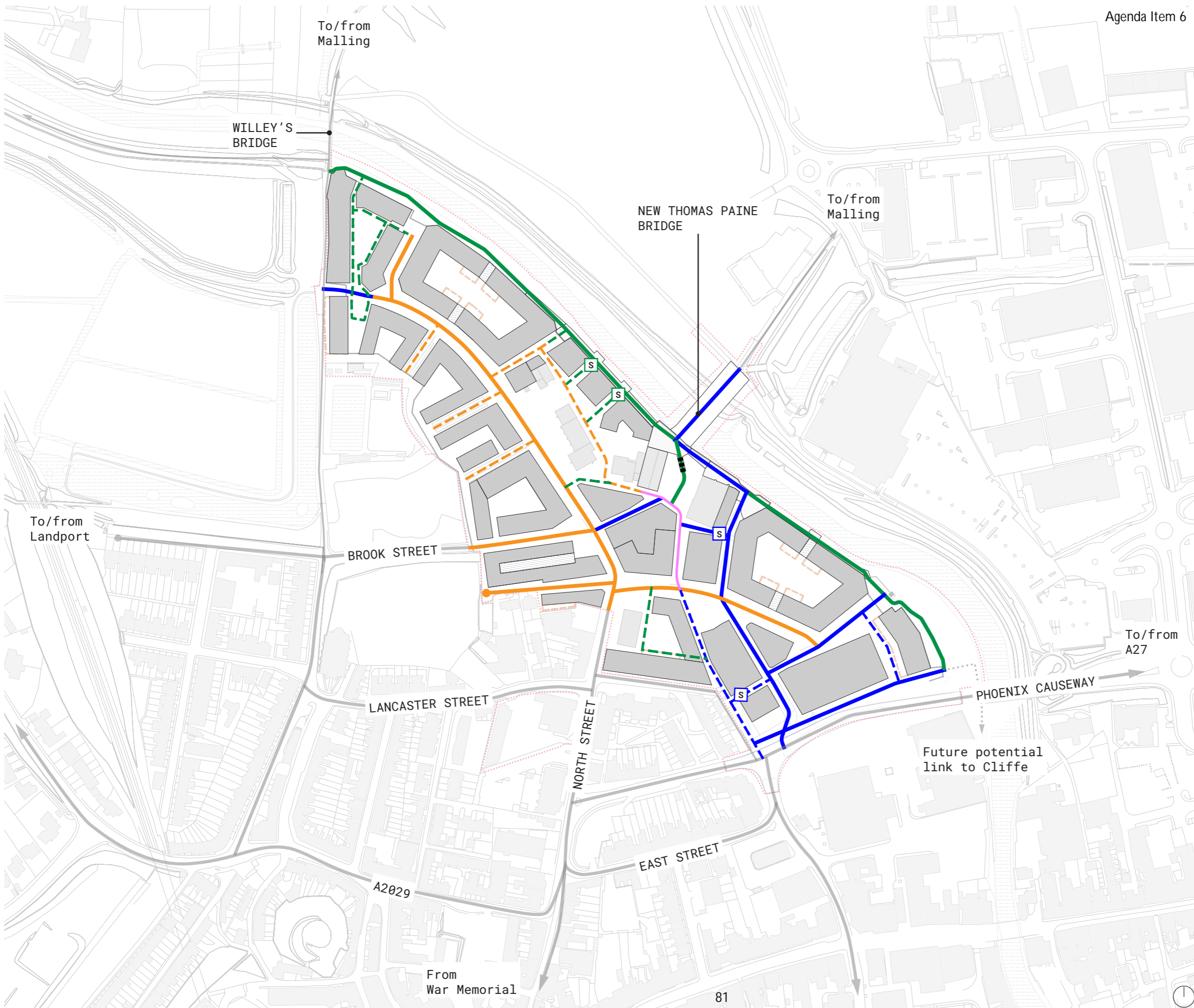
Project  
**The Phoenix**

Drawing Title  
**Parameter Plan Indicative Parking Zones and Loading Bays Phoenix Place Level**

Project Number <b>0080</b>	Status <b>Planning</b>
Scale at A1 <b>1:1000</b>	Date <b>19.07.2023</b>
Drawn by <b>RF</b>	Checked by <b>DR</b>
Drawing Number <b>0080-PR-22-ZZ-DR-L-1008</b>	Rev <b>014</b>



NOTES  
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KEY

Existing Routes

- Existing Road
- Existing Footpath

Proposed Routes

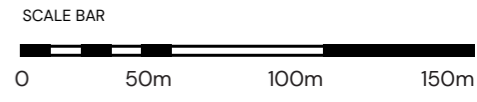
- |  | Public Right of Way | Permissive Route |
|--|---------------------|------------------|
| Pedestrians Only   |                     |                  |
| Pedestrians and Cycles                                     |                     |                  |
| Pedestrians, Cycles and Vehicles                           |                     |                  |
| Pedestrians, Cycles and Servicing/ Emergency Vehicles Only |                     |                  |
| Steps Only   |                     |                  |

All proposed routes shown are 2-way unless noted otherwise.

Where pedestrian access is indicated this includes wheeler and wheelchair users, except where steps are shown.



A	19/01/24	Draft Review	LW	JW
Rev	Date	Issue Purpose	Drawn	Check



PROJECT  
 The Phoenix  
 TITLE  
**DRAFT**  
 Proposed Rights of Way and Permissive Rights

CLIENT  
 Human Nature

SCALE (@ A3)  
 1:2500  
 STATUS  
**FOR COMMENT**

PROJECT NO. DRAWING NO.  
 PHX-00-HN-D-08-001

