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WINCHESTER CITY COUNCIL

BREACH OF CONDITION NOTICE

relating to land at

Old Wells Cottage, Main Road, Owslebury, Winchester, Hampshire, SO21 1LU

██████████ Head of Legal Services, City Offices, Colebrook Street, Winchester, Hampshire,
SO23 9LJ

IMPORTANT – THIS COMMUNICATION AFFECTS YOUR PROPERTY

**TOWN AND COUNTRY PLANNING ACT 1990
(as amended by the Planning and Compensation Act 1991)**

BREACH OF CONDITION NOTICE

**SERVED BY: WINCHESTER CITY COUNCIL ON BEHALF OF SOUTH DOWNS
NATIONAL PARK AUTHORITY**

TO: [REDACTED]

1. **THIS NOTICE** is served by the Council, under section 187A of the above Act, because they consider that one of the conditions imposed on a grant of planning permission, relating to the land described in paragraph 2 below, has not been complied with. The Council consider that you should be required to comply with the conditions specified in this notice. The Annex at the end of this notice contains important additional information.

2. **THE LAND TO WHICH THE NOTICE RELATES**

Land at Old Wells Cottage, Main Road, Owslebury, Winchester, Hampshire, SO21 1LU, shown edged red on the attached plan.

3. **THE RELEVANT PLANNING PERMISSION**

The relevant planning permission to which this notice relates is the permission granted by the Local Planning Authority on 12th September 2013 for the construction of an attached double garage and the creation of a new vehicular access; reference: SDNP/13/03664/HOUS.

4. **THE BREACH OF CONDITION**

The following condition has not been complied with:-

(2) The materials to be used in the construction of the development hereby permitted shall be those as detailed in the materials section of the accompanying application forms and as annotated on the approved drawing 107 Rev. D.

5. **WHAT YOU ARE REQUIRED TO DO**

As the person responsible for the breach of the condition specified in paragraph 4 of this notice, you are required to comply with the stated condition by taking the following steps:-

- 1) Remove all bold roll, interlocking, terracotta coloured roof tiles from the double garage (including the linking passage), hatched blue on the attached plan.
- 2) Fit clay tiles which match the existing clay tiles on the porch roof.

6. PERIOD FOR COMPLIANCE

- 1) Step 1 to be completed 2 months from the date on which this notice is served on you.
- 2) Step 2 to be completed 3 months from the date that on which this notice is served on you.

Dated: 23rd August 2016

Signed

Head of Legal Services

on behalf of: Winchester City Council
City Offices
Colebrook Street
Winchester
Hampshire
SO23 9LJ

ANNEX

WARNING

**THIS NOTICE TAKES EFFECT IMMEDIATELY IT IS SERVED ON YOU
IN PERSON OR ON THE DAY YOU RECEIVED IT BY POST**

**THERE IS NO RIGHT OF APPEAL TO THE SECRETARY OF STATE AGAINST
THIS NOTICE .**

It is an offence to contravene the requirements stated in paragraph 5 of this notice after the end of the compliance period. You will then be at risk of immediate prosecution in the Magistrates' Court, for which the maximum penalty is not exceeding level 4 on the standard scale (currently £2,500) if the land is in England for a first offence and for any subsequent offence.

If you are in any doubt about what this notice requires you to do, you should get in touch immediately with [REDACTED]

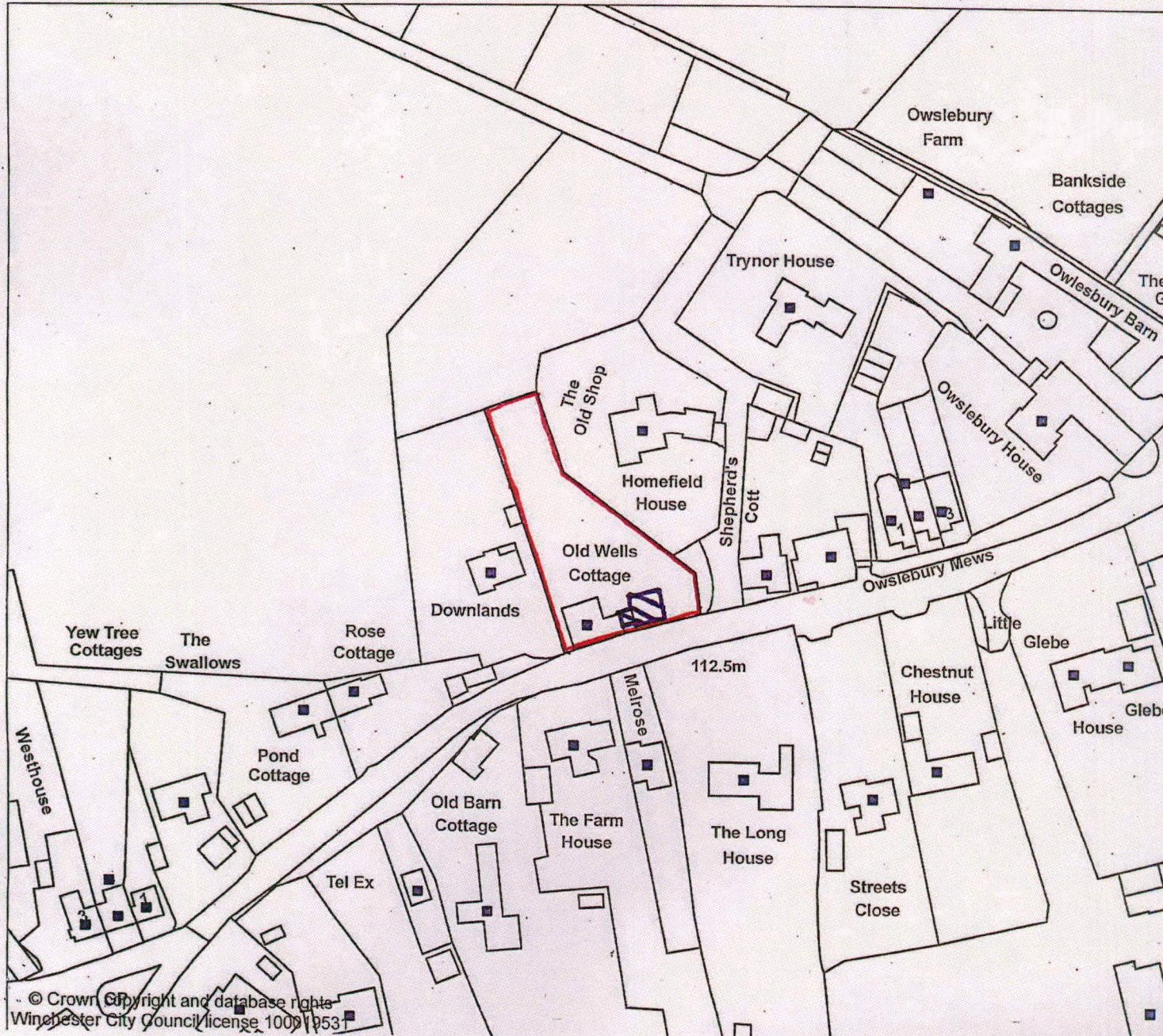
If you do need independent advice about this notice, you are advised to contact urgently a lawyer, planning consultant or other professional adviser specialising in planning matters. If you wish to contest the validity of the notice, you may only do so by an application to the High Court for judicial review. A lawyer will advise you on what this procedure involves.

Do not leave your response to the last minute.

Old Wells Cottage



Winchester
City Council



Legend

**PLEASE NOTE: GARAGE IS NOT TO SCALE*

Scale: KM

Organisation	^Organisation
Department	^Department
Comments	^Comments
Date	24/11/2015
MSA Number	^PMSA Number