

Report to	Planning Committee
Date	17 January 2019
By	Director of Planning
Local Authority	Wealden District Council
Application Number	SDNP/17/06502/FUL & SDNP/17/06503/LIS
Applicant	Ms Josephine Carr (Jevington Village Hall Trustees)
Application	Accessible rear glazed entrance foyer extension, modified existing rear window to form new doorway, taking down and rebuilding small existing lean-to structure to incorporate fully accessible toilet facility, lobby and store, minor internal alterations to reveal original school room layout, replacement of existing kitchen fittings with new, provision of new vehicular entrance from the Jevington Road with associated access drive, parking, with disabled parking, electric car charging, cycle store and ramped disabled access to the village hall. Improved pedestrian access to front of building including reconstructed southern steps, larger paved entrance from the Jevington Road and relocation of existing telephone box away from road edge. Associated hard and soft landscaping.
Address	Jevington Village Hall (Old School House), Jevington Road, Jevington, East Sussex BN26 5QB

Recommendation for SDNP/17/06502/FUL: That the application be approved subject to the conditions set out at paragraph 10.1 of the report.

Recommendation for SDNP/17/06503/LIS: That listed building consent be granted subject to the conditions as set out in paragraph 10.2 of the report.

Executive Summary

The application proposes a number of works to Jevington Village Hall, including a new glazed entrance to the rear of the building, removal of internal partition walls, and replacement of an existing lean-to extension to provide accessible toilet facilities. A new access from Jevington Road, new car park with level access to the hall and new and paved pedestrian access is also proposed. The land rises significantly from Jevington Road towards the Village Hall and the landscape works required to facilitate the new car park area and access from Jevington Road are significant and include the requirement for large retained walls at the access entrance.

The Village Hall and adjoining School House are Grade II listed, and fall within the Jevington Conservation Area. The works are proposed by the Trustees of the Village Hall in order to safeguard the continued use of the building and provide suitable facilities for use by the community including toilet facilities, access for all and parking.

The proposal, which will provide an important community facility and retain the use of a listed building, is supported in principle. The development must however be considered in terms of

impact to the setting of the Listed Building and the Conservation Area, as well as the landscape character of the area. There is no heritage objection to the proposal, subject to condition. There remains however a landscape concern in regard to the proposed use of gabions (wire cages filled with concrete) in the access retaining walls. This matter can however be dealt with by condition securing appropriate treatment of the access walls. The proposals are therefore considered to be acceptable and approval of both applications is recommended. The applications are placed before Members due to the applicant being SDNPA Member Josephine Carr, who is a trustee of Jevington Village Hall.

1. Site Description

- 1.1 The site is located in the centre of Jevington, which is a rural village settlement area some 2km west of Eastbourne. The village has a linear settlement pattern running north/south along the Jevington Road. The site is bounded by Jevington Road to the west, with Devonshire House immediately to the north and agricultural land to the south and east. Jevington does not have a settlement policy boundary and most of the built form, including the Village Hall, falls within the Conservation Area. The hedgerow and trees on the south western boundary with Jevington Road also fall within an area tree preservation order.
- 1.2 Jevington Village Hall is a Grade II listed building originally constructed in 1846 as a school with a schoolmaster's house attached to the south. Its style is Gothic in type and the materials include flint with galleting (contrasting stone chips inserted into the mortar for decorative purposes) and clay tiles. Extensions to the school and house were added on the north (rear) side of the original building in 1872 and 1877, and a single storey lean-to on the west side of the building was added in 1889. The school use ceased in 1931 when the building became the village hall and Sunday school, and a Post Office was created which required the insertion of timber partitions within the building.
- 1.3 The Village Hall is currently used on a limited basis and maintained at a basic level, with minimal sanitary provision. The schoolmaster's house is let on a protected tenancy to the manager of the Village Hall, providing a secure income that is vital to its ongoing viability.
- 1.4 The site is accessed from Jevington Road which is a narrow lane with limited passing spaces and no parking. The building is in an elevated position on top of a bank which extends along Jevington Road, and access to the hall is currently provided by two sets of steep steps.

2. Relevant Planning History

- 2.1 There is no relevant planning history for the site, however informal planning advice was sought from officers, including the Historic Buildings Officer, by way of a site meeting in 2016.

3. Proposal

- 3.1 The applications seeks full planning and listed building consent to provide a full-height glazed entrance foyer to the rear (north-eastern) elevation of the village hall, and the replacement of an existing single storey lean-to extension to the side (north-western) elevation to provide an accessible toilet facility and store. Facing brickwork will match that of the existing building, and contemporary planar glazing will be used to create the new entrance foyer which will allow the existing historic façade to remain visible. Internal alterations, including the removal of some of the 1930s internal partitions and provision of a working kitchen, are also proposed.
- 3.2 A new vehicular access from the Jevington Road is also proposed and the provision of 14No visitor parking spaces provided within the grounds to the south east of the building, including disabled parking and electric car charging point. The surfacing is proposed to be open geogrid with gravel fill to allow a 'no dig' permeable construction. The access will be cut into the existing bank and involves the installation of retaining walls both sides using gabion retaining structures with flint facings that will be planted with ivy. Level access is proposed from the car park area to the new glazed entrance foyer via a small ramp and terrace. The existing telephone box will be re-located.

4. Consultations

4.1 **Archaeology:** No objection subject to condition.

- The site has a very high potential to contain below ground archaeological remains.
- The cost of the archaeological work required to deal with these remains may be significant.
- A programme of archaeological works will enable any archaeological deposits and features that would be disturbed by the proposed works to be preserved in situ or adequately recorded in advance of their loss.

4.2 **Dark Night Skies:** No objection subject to condition. Comments:

- Any lighting of the new area should be treated as 'external' lighting.
- If the lighting is to be modest as if illuminating a walkway then low transmittance glass would suffice provided lights are installed correctly.
- The use of the solar glazing is welcomed as this will reduce light transmission.
- Details of the glazing and downlighters may be secured through condition.

4.3 **Ecology:** No objection, subject to conditions. Comments:

- The Village Hall supports low numbers of common bats, however the areas supporting bats are unlikely to be impacted.
- A sensitive lighting strategy should be provided avoiding lighting of potential roost features.
- Opportunities for biodiversity enhancements include native/wildlife friendly planting and grassland management, and the provision of insect, bird, bat and hedgehog houses.

4.4 **Environmental Health:** No objection.

4.5 **Highways:** No objection, subject to conditions.

4.6 **Historic Buildings:** No objection, subject to conditions. Comments:

- The creation of the access and car park will effectively re-orient the building and the foyer will provide an obvious entry point on what is currently the rear elevation.
- The glazed foyer reflects the existing architectural style, will be visually light-weight, clearly a modern addition, and reversible.
- The internal partitions to be removed obscure part of the building's original layout however have some historical significance and their removal results in some harm to the historic building.
- The lean-to is in poor condition and is a later 19th Century, addition. To retain it would require extensive repairs and interventions and it is too narrow to accommodate a disabled toilet.
- The car park and, in particular, the new access will have a significant impact on the setting of the listed building and the character of the Conservation Area, however is on balance acceptable given the wider benefits of the scheme.
- Simplification of materials is encouraged.

4.7 **Landscape:** Holding objection pending details of suitable materials for the access retaining walls and surfacing. Comments:

- The proposed development site is visually well contained with very limited views from publicly accessible areas to the east.
- Steep, ivy-covered, road-side banks are a notable characteristic of area, and driveway embankments are either earth or flint walls.
- The proposed gabions would appear out of context, and over-engineered, and harm the landscape character of Jevington Village.
- The access design should be more informed by the local character context, and the retaining walls achieved using flint walls or stabilised earth banks (which would also be cheaper than gabions).

4.8 **Tree Officer:** No objection, subject to conditions.

4.9 **Jevington Parish Council:** No objection.

- The Council strongly supports the application which would improve considerably the community facilities for Jevington and Filching villages.
- The proposal is sympathetic to the listed building and the front elevation facing the road will remain virtually the same.
- The loss of protected trees has been kept to a minimum.
- Subject to the view of the Highway Authority, the new vehicular access is an improvement on the current situation where users have to park elsewhere and walk along the road to access the Hall.
- The provision of disabled access is much needed and welcomed.

5. Representations

5.1 The Trustees of Jevington Village Hall have submitted a list of 150 signatures received in support of the access proposals following a Village Hall Access Survey, and a number of public comments received during the public exhibition and Residents Association meeting raising the following:

- A working village hall with parking would be of great benefit to the village community and surrounding areas.
- The proposal would save people walking on the narrow road and solve the problem of finding somewhere to park
- The proposal would make the hall more available and accessible to people in the area
- Will allow the hall to realise its full potential as a 'hub' for the community and community based activities which are vital to sustaining a vibrant atmosphere in small settlements
- Will help to bring the community together
- Potential benefits for walkers and riders on the South Downs Way.

5.2 Two further letters of support, including from the chairman of the Residents Association, were received raising the following:

- The proposed changes are long overdue and would be of great benefit to the village.
- At present access is on foot along a very narrow road.
- The provision of access for all is essential to the Village Hall's viability.
- Parking provision would encourage greater use of the hall and allow a higher percentage of the villagers to make use of the facilities.
- The village lacks a social centre at the present time and the proposal would allow a much closer-knit community.
- The Hall provides a community event and meeting space for residents of Jevington and Filching, including yoga sessions which improve agility and wellbeing and are especially beneficial for older members of the community.
- The existing difficult access means that some residents cannot attend events.
- The proposals will provide a larger and more sensible space.
- The proposals will allow the significant history of the building to be retained.
- The design of the access appears to be the best that can be achieved given the constraints of the site.

6. Planning Policy Context

6.1 Applications must be determined in accordance with the Development Plan unless material considerations indicate otherwise. The relevant statutory development plan is the saved policies of the Wealden District Local Plan (1998) and the Wealden District Joint Core Strategy (2013). The relevant policies are set out in section 7 below.

National Park Purposes

6.2 The two statutory purposes of the SDNP designation are:

- To conserve and enhance the natural beauty, wildlife and cultural heritage of their areas;

- To promote opportunities for the public understanding and enjoyment of the special qualities of their areas.

If there is a conflict between these two purposes, conservation takes precedence. There is also a duty upon the Local Planning Authority to foster the economic and social wellbeing of the local community in pursuit of these purposes.

National Planning Policy Framework and National Parks Circular 2010

- 6.3 The National Planning Policy Framework (2018) is considered holistically although the following sections are of particular relevance to the applications:
- Section 8: Building a strong, competitive economy
 - Section 12: Achieving well-designed places
 - Section 15: Conserving and enhancing the natural environment
 - Section 16: Conserving and enhancing the historic environment
- 6.4 Government policy relating to National Parks is set out in English National Parks and the Broads: UK Government Vision and Circular 2010 and the revised National Planning Policy Framework (NPPF) issued on 24 July 2018. The Circular and NPPF confirm that National Parks have the highest status of protection, and the NPPF states at paragraph 172 that great weight should be given to conserving and enhancing landscape and scenic beauty in national parks and that the conservation and enhancement of wildlife and cultural heritage are also important considerations and should be given great weight in National Parks.
- 6.5 The development plan policies listed in Section 7 have been assessed for their compliance with the NPPF and are considered to be compliant with it.

The South Downs National Park Partnership Management Plan 2014-2019

- 6.6 The South Downs National Park Partnership Management Plan (SDPMP) 2014-2019 is a material consideration in the determination of planning applications, as outlined in national planning practice guidance. It outlines a vision and long term outcomes for the National Park. The following policies are relevant:
- 1: conserve and enhance natural beauty and special qualities of the landscape;
 - 3: Protect and enhance tranquillity and dark night skies;
 - 9: The significance of the historic environment is protected from harm;
 - 29: Enhance the health and wellbeing of residents and visitors;
 - 30: Develop access for all opportunities;
 - 31: Raise awareness and understanding about the National Park;
 - 32: Encourage and support creative and cultural activities;
 - 34: Support and enable communities to develop and deliver high-quality, community-led initiatives;
 - 39: Manage vehicle parking to improve visitor experiences and reduce impact of traffic and parking;
 - 41: Maintain visitor enjoyment and influence visitor behaviour to reduce impacts.
 - 49: Maintain and improve access to a range of essential community services and facilities for communities in the National Park.

7. Planning Policy

- 7.1 The following saved policies of the Wealden District Local Plan (1998) and Wealden District Joint Core Strategy (2013) are relevant:
- EN12 Protection of trees and woodlands
 - EN14 Landscaping within developments
 - EN16 Nature Conservation
 - EN19 Development within Conservation Areas
 - EN27 Layout and Design of development
 - EN28 Design of development for people with disabilities
 - EN29 Light pollution

- TR3 Traffic impact of new development
- TR16 Car Parking Standards
- LR8 Community halls.

The draft South Downs National Park Local Plan

- 7.2 The South Downs Local Plan: Pre-Submission Local Plan was published under Regulation 19 of the Town and Country Planning (Local Planning) (England) Regulations 2012 for public consultation between 26 September to 21 November 2017, and the responses considered by the Authority. The Plan was submitted to the Secretary of State for independent examination in April 2018, and is currently undergoing Examination in Public. The Submission version of the Local Plan consists of the Pre-Submission Plan and the Schedule of Proposed Changes. It is a material consideration in the assessment of this planning application in accordance with paragraph 48 of the NPPF, which confirms that weight may be given to policies in emerging plans following publication. Based on the current stage of preparation, and given the relative age of the saved policies within the Wealden District Local Development Framework (1998) the policies within the Submission South Downs Local Plan (2018) are currently afforded considerable weight, depending on the level of objection received on individual policies. The relevant policies are:

- SD1 – Sustainable Development
- SD2 – Ecosystems Services
- SD4 – Landscape Character
- SD5 – Design
- SD7 – Relative Tranquillity
- SD8 – Dark Night Skies
- SD9 – Biodiversity and Geodiversity
- SD11 – Trees, Woodland and Hedgerows
- SD12 – Historic Environment
- SD13 – Listed Buildings
- SD19 – Transport and Accessibility
- SD20 – Walking, Cycling and Equestrian Routes
- SD21 – Public Realm, Highway Design and Public Art
- SD22 – Parking Provision
- SD23 – Sustainable Tourism
- SD25 – Development Strategy
- SD34 – Sustaining the Local Economy
- SD40 – Farm and Forestry Diversification
- SD41 – Conversion of Redundant Agricultural or Forestry Buildings
- SD43 – New and Existing Community Facilities

Statutory Requirements

- 7.3 The Planning (Listed Buildings and Conservation Areas) Act 1990 places a series of duties on planning authorities when determining applications for planning permission that may affect Conservation Areas or their setting.
- 7.4 Section 66 (1) states that ‘in considering whether to grant planning permission for development which affects a listed building or its setting the local planning authority shall have special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses. Section 72 relates to conservation areas specifically, and states that special attention shall be paid to the desirability of preserving or enhancing the character or appearance of that area.

8. Planning Assessment

- 8.1 The main issues for consideration with regard to the applications are:

- Principle of development;
- Impact on the setting of the Listed Building and the character of the Conservation Area;
- Design, landscape and visual impact;

- Highway safety; and
- Impact on ecology.

Principle of Development

- 8.2 Development that supports community development is broadly supported by development plan and national policy.
- 8.3 Saved policy LR8 of the Wealden District Local Plan (1998) 'Community Halls' supports proposals for new, extended or improved community halls outside the development boundary providing the proposed development is essential to meet the needs of the local community; and would not be unduly intrusive in the landscape, or detrimental to the character and appearance of the countryside. Emerging policy SD43 'New and Existing Community Facilities' supports proposals for new and/or expanded community facility infrastructure where a local need has been demonstrated; the scale of the proposed infrastructure is proportionate to the local area; there has been prior local community engagement; they are accessible and inclusive to the local communities they serve; and appropriate consideration has been given to the shared use, re-use and/or redevelopment of existing buildings in the host community.
- 8.4 Paragraph 91 of the NPPF (2018) states that planning decisions should aim to achieve healthy, inclusive and safe places which promote social interaction, are safe and accessible and enable and support healthy lifestyles. Paragraph 92 states that planning decisions should support the provision and use of community facilities to enhance the sustainability of communities, and ensure that established facilities are able to develop and modernise, and are retained for the benefit of the community.
- 8.5 In this instance, the proposals, which have strong support from the Parish Council and local residents, would modernise the existing community facility to provide a more functional space including an operating kitchen, accessible toilets, car parking facilities, electrical vehicle charging and level access. This would allow use of the hall for a wider range of community activities and private functions, and for it to be accessed and used by a wider range of local residents. The Hall could also be used as a rest stop for walkers, cyclists and runners on the South Downs Way.
- 8.6 The proposal would be consistent with the second purpose of the National Park in seeking to promote opportunities for the understanding and enjoyment of the National Park's Special Qualities, and the National Park's duty to seek to foster the social and economic wellbeing of its local communities. The development also accords with SDPMP policies 29, 30, 31, 32, 34 and 49.
- 8.7 In summary, the principle of development is therefore acceptable providing the impact of the proposals would not be harmful to the listed building or its setting, or detrimental to the character and appearance of the Jevington Conservation Area. These matters are considered in more detail below.

Cultural Heritage

- 8.8 There are currently no Character Appraisals or Management Plans for Conservation Areas in Wealden District, however Jevington village are in the process of preparing an appraisal in partnership with the SDNPA.
- 8.9 The relevant development plan policies include saved policy EN19, which states that within Conservation Areas, proposals which do not preserve or enhance their existing character, scale and visual amenity will be resisted. Policy SD12 of the Submission South Downs Local Plan (2018) supports development proposals that enhance or better reveal the significance of heritage assets and appropriately re-use redundant or under-used heritage assets to secure their long-term conservation and enhancement, and that of their setting.
- 8.10 The NPPF (2018) states that in determining planning applications, local planning authorities should look for opportunities for new development within Conservation Areas that could enhance or better reveal their significance. Opportunities should be taken to conserve and enhance heritage assets. The Historic Buildings officer has advised that the development

poses less than substantial harm to the Conservation Area, which must be weighed up against the public benefits of the proposal in accordance with NPPF paragraph 196.

- 8.11 The Village Hall and adjoining School House is a Grade II listed building that is considered to make an important contribution to the character of the Jevington Conservation Area. The flint walls with brick dressings and plain clay tiled pitched roofs are completed in a similar style to the three cottages known as 'Flint Cottages.' Furthermore, as detailed in the submitted Heritage Statement, the buildings form an important part of the cultural history of Jevington village.
- 8.12 In terms of the proposed works to the building, including the glazed foyer replacement lean-to extension and removal of internal partitions, the Historic Buildings officer has no objection. The works will cause less than substantial harm to the listed building or character and appearance of the Conservation Area, and are in any case outweighed by the wider public benefits that would be accrued.
- 8.13 However, the formation of the new access and car park has the potential to significantly impact on the setting of the listed building and the character of the Conservation Area, as a section of the characteristic vegetated bank adjoining the highway will be cut away. On balance, the Historic Buildings officer considers that the harm to these heritage assets is also less than substantial, and outweighed by the wider public benefits that would accrue, including the opportunity for all members of the community to enjoy the wider historic building. The access and car park elements are therefore considered acceptable, however the simplification of materials is encouraged, and the engineered gabions should be planted up as soon as possible to reduce their impact.
- 8.14 In summary, officers consider that the scheme would allow the continuing optimal use of the building, and improve its viability by allowing a wider range and number of community and private activities. The proposed glazed foyer is considered to conserve and enhance the heritage asset. The replacement of the C19th lean-to extension, removal of internal partitions and provision of a new access and car park will cause less than substantial harm to the listed building or to the character and appearance of the Conservation Area, which is in any case outweighed by the wider public benefits that would be accrued in allowing more local residents and visitors to enjoy both the building and cultural heritage of Jevington. Details of materials and conservation workmanship may be secured through condition.

Design and Landscape Impact

- 8.15 Saved policy EN14 states that landscaping schemes should seek to retain existing trees, significant hedgerows and other valuable site features; comprise primarily native species; and complement the scale and character of the proposed development and the locality.
- 8.16 Policy SD4 'Landscape Character' of the Submission South Downs Local Plan (2018) carries considerable weight, and supports development that conserves and enhances the existing landscape character features which contribute to the distinctive character, pattern and evolution of the landscape; and safeguards the experiential and amenity qualities of the landscape. Policy SD5 'Design' supports development that demonstrates a landscape-led approach and respects the local character of the area. Proposals should both integrate with, respect and sympathetically complement the landscape character and utilise architectural design which is appropriate and sympathetic to its setting. Proposals should also incorporate hard and soft landscaping treatment which takes opportunities to connect to the wider landscape and enhance green infrastructure.
- 8.17 Paragraph 127 of the NPPF (2018) states that development should be sympathetic to local character and history, including the surrounding built environment and landscape setting, whilst not preventing or discouraging appropriate innovation or change.
- 8.18 The design of the proposed works to the building is considered to be sensitive, in particular the contemporary glazed foyer that allows the building's fabric to be clearly seen. The Landscape officer has also advised that the building works will be visually well contained and will have limited impact on landscape character. However, concerns have been raised in regard to the design of the new access, in particular the engineered appearance of the

proposed concrete gabions within the retaining walls that would be out of context, and harmful to the landscape character of Jevington Village. A solution more sensitive to the local character context, such as the use of flint retaining walls or stabilised earth banks should be considered.

- 8.19 In summary, the proposals are broadly acceptable in terms of design and layout, however a more sensitive treatment of the access retaining walls is required to avoid harm to the landscape character of the area. It is considered that this can be secured by a suitable landscaping condition.

Ecology and Trees

- 8.20 Saved Policy EN16 states that proposals should have regard to nature conservation and wildlife habitats, particularly of protected species and opportunities for encouraging habitat protection, enhancement and management. Saved policy EN12 resists development proposals which would result in the loss of trees which make a valuable contribution to the character of the landscape, a settlement or its setting.
- 8.21 Emerging policy SD9 of the of the Submission South Downs Local Plan (2018) carries considerable weight, and states that development proposals must retain, protect, and enhance features of biodiversity interest and ensure appropriate and long-term management of those features. Emerging policy SD11 supports proposals that conserve and enhance trees and hedgerows, and states that where protected trees are subject to felling, a replacement of an appropriate number, species and size in an appropriate location will be required.
- 8.22 The County Ecologist has considered the submitted ecological information, and is satisfied with the mitigation measures proposed in relation to protected species, which include bats, and earthworms. The areas supporting bats are unlikely to be impacted by development, and a sensitive lighting strategy avoiding lighting of potential roost features could be secured via condition. The identified biodiversity enhancements including native/wildlife friendly planting and grassland management, and the provision of insect, bird, bat and hedgehog boxes may be secured via condition.
- 8.23 The Wealden District Tree officer has advised that the development will have an acceptable impact on trees, with only 1 No category B sycamore tree (T12) and a section of roadside hedgerow proposed for removal. An updated tree constraints plan, dimensioned tree protection plan, and details of the replacement tree, could be secured through condition.

Highways and Access

- 8.24 Saved policy TR3 states that planning applications should not create or perpetuate unacceptable traffic conditions and should provide a satisfactory means of access (vehicular, cycle and pedestrian). Saved policy EN28 supports development that provides suitable access and facilities for people with disabilities. Emerging policy SD21 'Public Realm, Highway Design and Public Art' states that development will not be permitted where it would reduce the biodiversity, landscape and amenity value and character of historic rural roads, with particular attention on new access points.
- 8.25 Following concerns raised by the Highway Authority in regard to the details of the access drive, turning and parking layout, trip generation and visibility splay, further information has been provided over the course of the application including a Transport Statement and revised visibility splays. The Highway Authority is satisfied that the submitted details are acceptable subject to a number of pre-commencement conditions to secure a number of details including access, visibility splay, and construction management plan.

Dark night skies

- 8.26 The site falls within zone E1b which is a Dark Skies Transition Zone (E1b), lying between dark zones and the urban environment. Whilst the skies are relatively brighter in this area, it is still important to reduce light pollution as these areas have the potential to become dark zones in the future. Policy SD8 of the Submission South Downs Local Plan (2018) requires development to demonstrate that all opportunities to reduce light pollution have been taken, and ensure the measured and observed sky quality in the surrounding area is not affected.

- 8.27 The submitted lighting scheme proposes the use of recessed downlighters within the access retaining walls, and bollard downlighters in the car park. The Dark Night Skies officer raised concerns in regard to the extent of glazing in the foyer, and the potential for internal light spill to cause light pollution. Further details have been provided stating that downlighters would be fixed to the existing rear wall of village hall, and the wall and roof glazing to the roof element would have a solar controlled double glazed unit which will reduce solar gain and light emission. These details could be secured via condition.

9. Conclusion

- 9.1 It is considered that the proposals would conserve and enhance a designated heritage asset, which is an important part of the cultural heritage of Jevington Village. The proposals would also ensure accessible use of the hall for a wide range of users and community activities and be consistent with the National Park's Purposes of both landscape conservation and enhancement and seeking to promote opportunities for the understanding and enjoyment of the Special Qualities. The proposal also helps foster the social and economic wellbeing of its local communities. The impact of the proposed access on the setting of the listed building and the character and appearance of the Conservation Area is considered acceptable. The application is therefore recommended for approval.

10. Reason for Recommendation

- 10.1 It is recommended that planning permission be granted for application SDNP/17/06502/FUL subject to the following conditions:

General conditions

1. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

Reason: To comply with the provisions of Section 91 (1) of the Town and Country Planning Act 1990 (as amended). / To comply with Section 51 of the Planning and Compulsory Purchase Act 2004.
2. The development hereby permitted shall be carried out in accordance with the plans listed below under the heading "Plans referred to in Consideration of this Application."

Reason: For the avoidance of doubt and in the interests of proper planning.
3. The building shall be used as a village community hall, and for no other use whatsoever.

Reason: To allow the Local Planning Authority to manage the use of land and prevent unsustainable development that would not comply with planning policy.

Construction

4. Prior to the commencement of the development hereby permitted, including any works of demolition, until a Construction Management Plan shall be submitted to and approved in writing by the National Park Planning Authority. Thereafter, the approved Plan shall be implemented and adhered to throughout the entire construction period. The Plan shall provide details as appropriate but not necessarily be restricted to the following matters:
 - i) The anticipated number, frequency and types of vehicles used during construction, including the removal of any soil from the site;
 - ii) The method of access and egress and routeing of vehicles during construction;
 - iii) The parking of vehicles by site operatives and visitors;
 - iv) The loading and unloading of plant, materials and waste;
 - v) The storage of plant and materials used in construction of the development;
 - vi) the erection and maintenance of security hoarding;

- vii) The provision and utilisation of wheel washing facilities and other works required to mitigate the impact of construction upon the public highway (including the provision of temporary Traffic Regulation Orders),
- viii) Details of public engagement both prior to and during construction works.

Thereafter the development shall be undertaken in full accordance with the agreed details unless otherwise agreed in writing by the Local Planning Authority.

Reason: In the interests of highway safety and the amenities of the area.

5. No work for the implementation of the development hereby permitted shall be undertaken on the site except between the hours of 08.00 and 18.00 on Mondays to Fridays inclusive and 08.00 hours and 13.00 hours on Saturdays, and no work shall be undertaken on Sundays, Bank and Public Holidays unless otherwise agreed in writing by the Local Planning Authority.

Reason: In the interests of the amenities of the area.

Design and Materials

6. Prior to the commencement of the development hereby permitted, a detailed scheme of hard and soft landscaping works shall be submitted to and approved in writing by the Local Planning Authority. All such works as may be approved shall then be fully implemented in accordance with the approved development. The scheme shall include details of:
 - i) Proposed planting plans, including written specifications, cultivation and other operations associated with plant, grass and replacement tree establishment; schedules of plants and trees, noting species, sizes; and proposed numbers/densities where appropriate;
 - ii) Boundary treatments (including extent of repair works to old flint walls) and other built means of enclosure including gates and doors;
 - iii) Treatment of surfaces including the new road access, paths and car park, to include materials, permeability, kerbs, edges, steps and ramps;
 - iv) Ancillary structures (including cycle and refuse storage, electrical charging points);
 - v) The access retaining walls (avoiding the use of gabions).

Thereafter the development shall be undertaken in full accordance with the agreed details unless otherwise agreed in writing by the Local Planning Authority.

All soft landscaping shall be carried out in the first planting and seeding season following the first occupation of the building, or the completion of the development, whichever is the sooner. All shrub and tree planting shall be maintained free from weeds and shall be protected from damage by vermin and stock. Any trees or plants which, within a period of five years, die, are removed, or become seriously damaged or diseased shall be replaced in the next planting season with others of a similar size and species, unless otherwise agreed in writing by the Local Planning Authority.

Reason: In the interests of the amenity of the landscape character of the area.

7. Prior to the commencement of the development hereby permitted, details of the following materials shall be submitted to and approved in writing by the Local Planning Authority:
 - i) Full details of the glazed foyer;
 - ii) Full details and samples of external materials, including bricks, slates and flints;
 - iii) Details of external flues, background and mechanical ventilation, soil/vent pipes and their exits to the open air;
 - iv) Full details of external decoration to render, joinery and metalwork.

The works shall be carried out in accordance with the approved details and shall be retained permanently as such, unless prior written consent is obtained from the Local Planning Authority to any variation

Reason: In the interests of preserving the character and appearance of the listed building and its setting.

8. Prior to the commencement of the works hereby permitted, a sample panel of flintwork and brickwork, demonstrating the bond and mortar, shall be constructed on the site and approved in writing by the Local Planning Authority. The flintwork and brickwork comprised within the development shall be carried out and completed to match the approved sample panels, and shall be retained permanently as such, unless prior written consent is obtained from the Local Planning Authority to any variation.

Reason: In the interests of preserving the character and appearance of the listed building and its setting.

9. Prior to the commencement of works hereby approved, the following shall be submitted to and agreed in writing by the Local Planning Authority:
 - i) Samples and/or technical details of the proposed rainwater goods, which shall be of cast iron or cast aluminium;
 - ii) Details of the proposed method of fixing the rainwater goods to the building, which shall avoid the use of a fascia board;
 - iii) The proposed position of the downpipes.

The works thereafter shall be completed in accordance with the approved details, which shall be thereafter retained.

Reason: In the interests of preserving the character and appearance of the non-designated heritage asset and its setting.

10. Prior to the commencement of the development hereby permitted, details of all new external window and door joinery shall be submitted to and approved in writing by the Local Planning Authority. The submitted details shall include drawings and sections at a scale of 1:1 for any glazing bars and 1:10 or 1:20 as appropriate for any sections/elevations, to clearly show the construction of the joinery and the finished relationship to the jambs, cills and heads of the wall, method of opening, and details of final finish (including colour). The works shall thereafter be carried out in accordance with the approved details.

Reason: In the interests of preserving the character and appearance of the non-designated heritage asset and its setting.

11. Prior to the commencement of the development hereby permitted details of earthworks shall be submitted to and approved in writing by the Local Planning Authority. These details shall include:
 - i) The proposed grading and mounding of land area including the levels and contours to be formed, showing the relationship of proposed mounding to existing vegetation and surrounding landform in relation to a nearby datum point.
 - ii) Proposals for removing and distributing the soil resource from site including.

Development shall be carried out in accordance with the approved details.

Reason: To ensure a satisfactory development and in the interests of amenity and landscape character.

12. Prior to the commencement of the development hereby permitted, details of surface water drainage, which shall follow the principles of sustainable drainage as far as practicable, shall be submitted to and approved in writing by the Local Planning Authority. The SuDS scheme shall

- i) Specify the responsibilities of each party for the implementation of the SUDS scheme
- ii) Specify a timetable for implementation
- iii) Provide a management and maintenance plan for the lifetime of the development including any arrangements for adoption by any public authority or statutory undertaker and any other arrangements to secure the operation of the scheme throughout its lifetime.

The drainage shall be provided in accordance with the approved details before first occupation of the related dwelling.

Reason: To ensure satisfactory surface water drainage.

Archaeology

13. Prior to the commencement of the development hereby permitted, a Written Scheme of Investigation to secure the implementation of a programme of archaeological works shall be submitted to and approved in writing by the Local Planning Authority. The scheme shall include an assessment of significance, and:

- i) The programme and methodology of site investigation and recording;
- ii) The programme for post investigation assessment;
- iii) Provision to be made for analysis of the site investigation and recording;
- iv) Provision to be made for publication and dissemination of the analysis and records of the site investigation;
- v) Provision to be made for archive deposition of the analysis and records of the site investigation;
- vi) Nomination of a competent person or persons/organisation to undertake the works set out within the Written Scheme of Investigation.

Thereafter the provisions of the scheme shall be carried out in full accordance with the approved programme.

Reason: To ensure that the archaeological and historical interest of the site is properly safeguarded and recorded.

14. Within 3 months of the completion of any archaeological investigation, a written record of the archaeological works undertaken in accordance with the Written Scheme of Investigation approved under condition 13, shall be submitted to and approved in writing by the Local Planning Authority, and the provision made for analysis, publication and dissemination of results and archive deposition secured. Any variation of the timescale for submission of the report shall be first agreed in writing with the Local Planning Authority.

Reason: To ensure that the archaeological and historical interest of the site is properly safeguarded and recorded.

Dark Night Skies

15. Prior to the development hereby permitted being brought into use, the following details shall be submitted to and approved in writing by the Local Planning Authority:

- i) An external lighting scheme, including a layout plan with beam orientation and schedule of equipment (luminaire type, mounting height, aiming angles, luminaire profiles, expected surface illuminance and sensory timing), avoiding lighting of potential bat roosts, flight lines and habitat;
- ii) Details of the solar controlled double glazing within the glass foyer element, and how it will be lit internally.

Thereafter the development shall be carried out and retained in full accordance with the approved details.

Reason: To enable the Local Planning Authority to control the development in the interests of amenity and protect the South Downs International Dark Night Skies Reserve.

Ecology & Trees

16. All ecological measures and/or works shall be carried out in accordance with the details contained in the approved Ecological Appraisal Report (AGB Environmental dated 04/12/18).

Reason: To avoid impacts to protected species and provide adequate ecological enhancements.

17. Prior to the commencement of the development hereby permitted, the following arboricultural information shall be submitted to and approved in writing by the Local Planning Authority:
- i) An updated tree constraints plan.
 - ii) A dimensioned tree protection plan including
 - a) Measures to prevent disturbance to soil levels within the root spread of the tree or hedgerow
 - b) Details of protective fencing in accordance with 'BS5837-2012 Trees in relation to design, demolition and construction.
 - iii) Details of any replacement trees that will be lost through development which shall be native specimens of local provenance.

The means of protection shall be installed prior to commencement of works, and retained until all plant equipment and surplus materials have been removed from the site. Nothing shall be stored or placed in any area protected and the ground levels within these areas shall not be altered unless otherwise agreed in writing by the Local Planning Authority.

Reason: In order to ensure the protection of trees in a Conservation Area, in accordance with section 211 of the Town and Country Planning Act (1990).

18. The following works shall not be carried out within the approved protection zone of any tree or hedgerow, unless otherwise agreed in writing by the Local Planning Authority:
- i) Lowering or raising of levels in relation to the existing ground level;
 - ii) Cutting of roots, digging of trenches or removal of soil;
 - iii) Lighting of fires in a position where the flames could extend to within 5 metres of the foliage, branches or trunk of the tree or hedgerow;
 - iv) Driving of vehicles over the area;
 - v) Storing of materials or equipment.

Reason: In order to ensure the protection of trees in a Conservation Area, in accordance with section 211 of the Town and Country Planning Act (1990).

Highways

19. Prior to the commencement of the development hereby permitted, a survey of the surrounding highway network shall be submitted and approved in writing by the Local Planning Authority. Any damage caused to the highway as a direct consequence of the construction traffic shall be rectified at the applicant's expense.

Reason: In the interests of highway safety and the amenities of the area.

20. Prior to the commencement of the development hereby permitted, the vehicular access serving the development shall be constructed and laid out in accordance with the approved drawing (Ref: 200J) and construction details given on HT407 provided by the Highway Authority.

Reason: In the interests of road safety.

21. Prior to the commencement of the development hereby permitted, provision shall be made within the site in accordance with plans and details to be submitted to and approved by the Local Planning Authority, to prevent surface water draining onto the public highway.

Reason: In the interests of road safety.

22. Prior to the commencement of the development hereby permitted, temporary arrangements for access, parking and turning for contractors/construction traffic shall be provided in accordance with plans and details to be submitted to and approved in writing by the Local Planning Authority.

Reason: In the interests of road safety.

23. Prior to the first occupation of the development hereby permitted, the car parking and vehicle turning space shall be constructed and provided in accordance with the approved plans. The areas shall thereafter be retained for that use and shall not be used other than for the parking of motor vehicles.

Reason: To provide car-parking and turning space for the development.

24. Prior to the commencement of the development hereby permitted, visibility splays of 45 metres to the north by 36 metres to the south have been provided at the proposed site vehicular access onto Jevington Road [C40] in accordance with the approved plan Nos. 200J and 6101A. Once provided the splays shall thereafter be maintained and kept free of all obstructions over a height of 600mm.

Reason: In the interests of road safety.

25. Prior to the commencement of the development hereby permitted, details of the boundary treatment on the southern side of the access and the steps on the northern boundary [within the visibility splay] shall be submitted and approved in writing by the Local Planning Authority.

Reason: In the interests of highway safety.

26. Prior to the first occupation of the development hereby permitted, cycle parking spaces shall be provided in accordance with the approved details. The areas shall thereafter be retained for that use and shall not be used other than for the parking of cycles.

Reason: To provide alternative travel options to the use of the car in accordance with current sustainable transport policies.

Informatives

1. This permission should be read in conjunction with Listed Building Consent reference SDNP/17/06503/LIS.
2. Any works to the junction will require a minor works agreement with the Highway Authority.
3. Your attention is drawn to the provisions of the Countryside and Rights of Way Act 2000 and Wildlife and Countryside Act 1981 (as amended) and in particular to Sections 1 and 9. These make it an offence to:
 - Kill or injure any wild bird;
 - Damage or destroy the nest of any wild bird (when the nest is being built or is in use);
 - Damage or destroy any place which certain wild animals use for shelter or disturb wild animals occupying a place for shelter (including all bats and certain moths).

The onus is therefore on you to ascertain whether such birds, animals or insects may be nesting or using the tree(s), the subject of this consent, and to ensure you do not contravene the legislation. This may, for example, require delaying works until after the nesting season for birds. The nesting season for birds can be considered to be March to September. You are advised to contact Natural England for further information.

10.2 It is recommended that listed building consent be granted for application SDNP/17/06503/LIS subject to the following conditions:

1. The works hereby consented shall be begun before the expiration of three years from the date of this consent.

Reason: To comply with the provision of Section 18(1) of the Planning (Listed Buildings and Conservation Areas) Act 1990 (as amended).

2. The development hereby permitted shall be carried out strictly in accordance with the approved plans unless otherwise agreed in writing by the Local Planning Authority.

Reason: For the avoidance of doubt and in the interests of proper planning.

3. Prior to the commencement of the development hereby permitted, details of the following materials shall be submitted to and approved in writing by the Local Planning Authority:

- i) Full details of the glazed foyer;
- ii) Full details and samples of external materials, including bricks, slates and flints;
- iii) Details of external flues, background and mechanical ventilation, soil/vent pipes and their exits to the open air;
- iv) Large scale details of all external joinery (1:5 elevation, 1:2 section, 1:1 glazing bars) including vertical and horizontal cross-sections through openings to show the positions of joinery within openings, depth of reveal, heads, sills and lintels as appropriate;
- v) Full details of external decoration to render, joinery and metalwork.

The works shall be carried out in accordance with the approved details and shall be retained permanently as such, unless prior written consent is obtained from the Local Planning Authority to any variation

Reason: In the interests of preserving the character and appearance of the listed building and its setting.

4. Prior to the commencement of the works hereby permitted, a sample panel of flintwork and brickwork, demonstrating the bond and mortar, shall be constructed on the site and approved in writing by the Local Planning Authority. The flintwork and brickwork comprised within the development shall be carried out and completed to match the approved sample panels, and shall be retained permanently as such, unless prior written consent is obtained from the Local Planning Authority to any variation.

Reason: In the interests of preserving the character and appearance of the listed building and its setting.

5. Prior to the commencement of works hereby approved, the following shall be submitted to and agreed in writing by the Local Planning Authority:

- i) Samples and/or technical details of the proposed rainwater goods, which shall be of cast iron or cast aluminium;
- ii) Details of the proposed method of fixing the rainwater goods to the building, which shall avoid the use of a fascia board;
- iii) The proposed position of the downpipes.

The works thereafter shall be completed in accordance with the approved details, which shall be thereafter retained.

Reason: In the interests of preserving the character and appearance of the non-designated heritage asset and its setting.

6. Prior to the commencement of the development hereby permitted, details of all new external window and door joinery shall be submitted to and approved in writing by the Local Planning Authority. The submitted details shall include drawings and sections at a scale of 1:10 (including sections through glazing bars and meeting bars), to clearly show the construction of the joinery and the finished relationship to the jambs, cills and heads of the wall, method of opening, and details of final finish (including colour). The works shall thereafter be carried out in accordance with the approved details.

Reason: In the interests of preserving the character and appearance of the non-designated heritage asset and its setting.

Informatives

1. This consent should be read in conjunction with Planning Permission reference SDNP/17/06503/LIS.
2. The applicant is advised to enter into a Section 59 Agreement under the Highways Act, 1980 to cover the increase in extraordinary traffic that would result from construction vehicles and to enable the recovery of costs of any potential damage that may result to the public highway as a direct consequence of the construction traffic. The applicant is advised to contact the Transport Development Control Team (01273 482254) in order to commence this process.
3. The applicant will be required to enter into a Section 184 Licence with East Sussex Highways, for the provision of a new vehicular access. The applicant is requested to contact East Sussex Highways (0345 60 80 193) to commence this process. The applicant is advised that it is an offence to undertake any works within the highway prior to the licence being in place.
4. The applicant will be required to obtain a permit for any highway works in accordance with the requirements of the Traffic Management Act, 2004. The applicant should contact East Sussex Highways (0345 60 80 193) to commence this process. The applicant is advised that it is an offence to undertake any works within the highway prior to the permit being in place.
5. The applicant is advised of the requirement to enter into discussions with and obtain the necessary licenses from the Highway Authority to cover any temporary construction related works that will obstruct or affect the normal operation of the public highway prior to any works commencing. These temporary works may include, the placing of skips or other materials within the highway, the temporary closure of on-street parking bays, the imposition of temporary parking restrictions requiring a Temporary Traffic Regulation Order, the erection of hoarding or scaffolding within the limits of the highway, the provision of cranes over-sailing the highway. The applicant should contact the Transport Development Control Team (01273 482254).
6. The applicant is advised that the erection of temporary directional signage should be agreed with Transport Development Control Team prior to any signage being installed. The applicant should be aware that a Section 171, Highways Act 1980 license will be required.

11. Crime and Disorder Implication

- 11.1 It is considered that the proposal does not raise any crime and disorder implications.

12. Human Rights Implications

- 12.1 This planning application has been considered in light of statute and case law and any interference with an individual's human rights is considered to be proportionate to the aims sought to be realised.

13. Equality Act 2010

- 13.1 Due regard has been taken of the South Downs National Park Authority's equality duty as contained within the Equality Act 2010.

14. Proactive Working

- 14.1 In reaching this decision the South Downs National Park Authority has worked with the applicant in a positive and proactive way, in line with the NPPF. This has included the provision of pre-application advice and seeking amendments during the determination of the applications to ensure that the development brought forward conserves and enhances the natural beauty, wildlife and cultural heritage of the National Park.

TIM SLANEY

Director of Planning

South Downs National Park Authority

Contact Officer:	Stella New
Tel:	01730 819216
email:	stella.new@southdowns.gov.uk
Appendices	1. Site Location Map
SDNPA Consultees	Legal Services, Development Manager.
Background Documents	All planning application plans, supporting documents, consultation and third party responses Submission Downs National Park Local Plan 2018 and Schedule of Changes National Planning Policy Framework 2012 Saved policies of the Chichester District Local Plan 1999 South Downs National Park Partnership Management Plan 2014-2019

Site Location Map



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