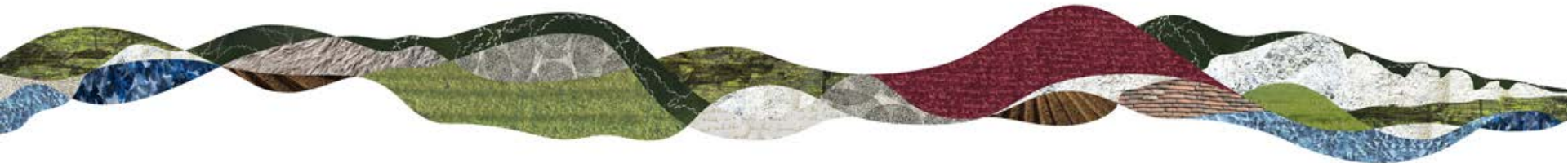


Planning Committee Meeting

17 January 2019

Agenda Item : SDNP/18/03762/CND
Penns Field, Heathfield Road, Petersfield, Hampshire

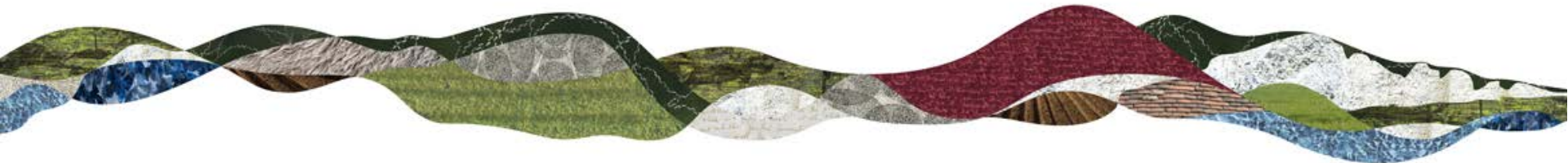
Variation of condition 2 on SDNP/15/06484/FUL - Supersede approved plans to enable minor architectural changes. (85 dwellings with access off Heathfield road and pedestrian/cycle/emergency access off Barnfield road)



**South East Corner looking north westerly
across site**

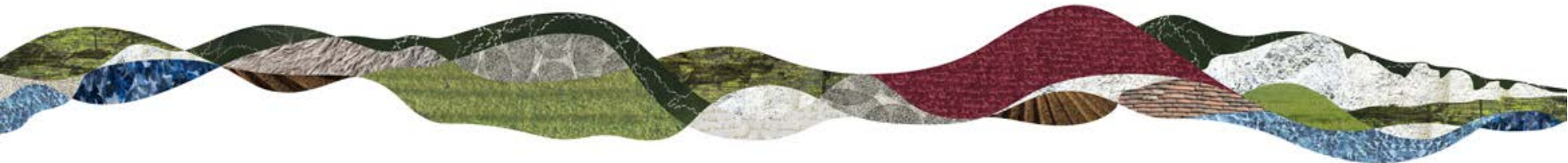


Site Location



Approved Layout

Proposed Layout



Approved Layout

Proposed Layout



Approved Layout

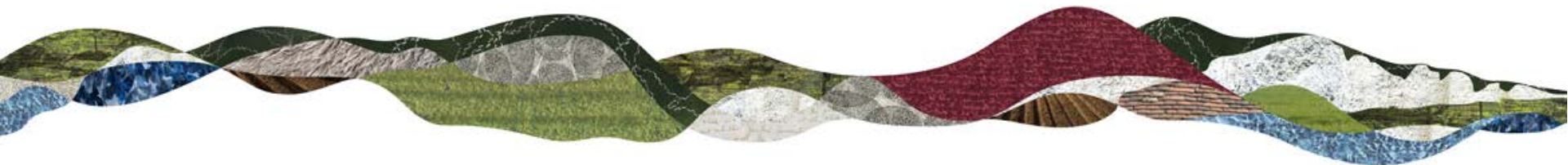
Proposed Layout

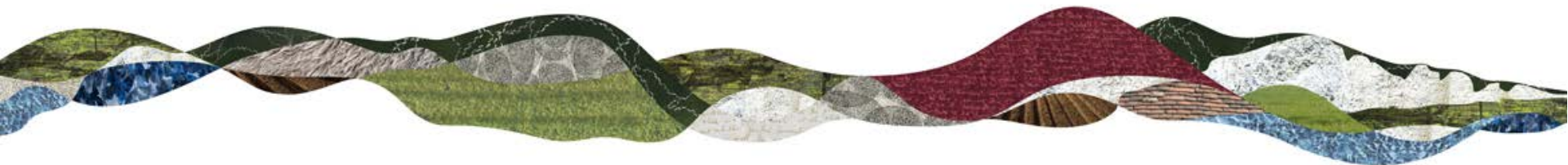


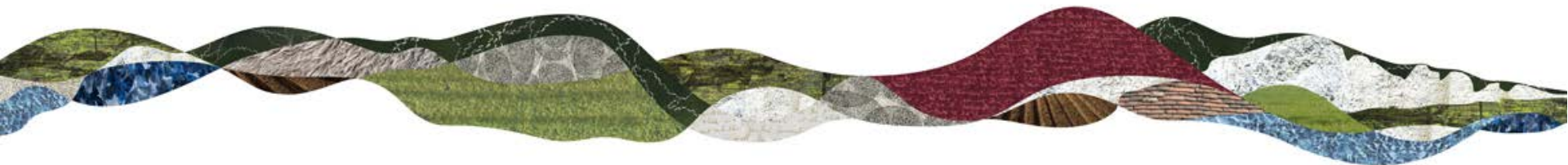
Approved Layout

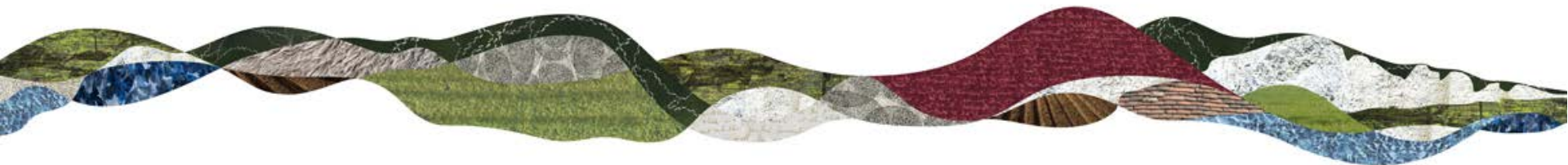
Proposed Layout

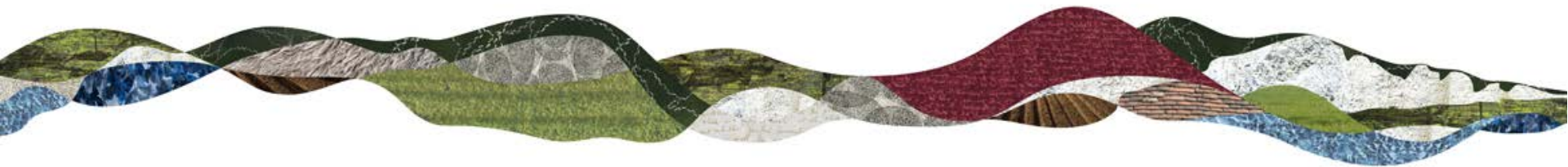


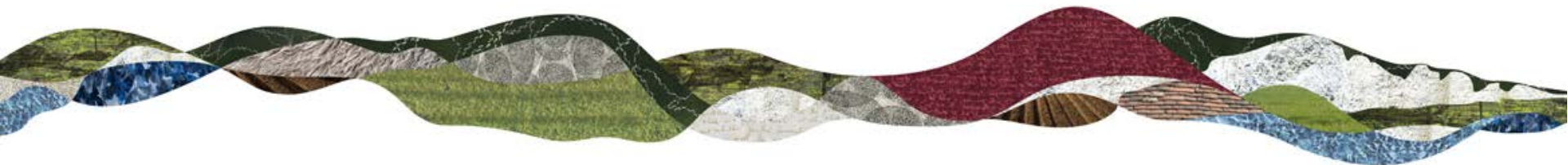


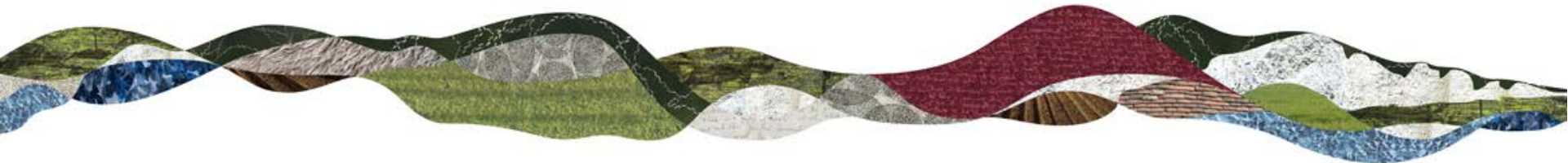










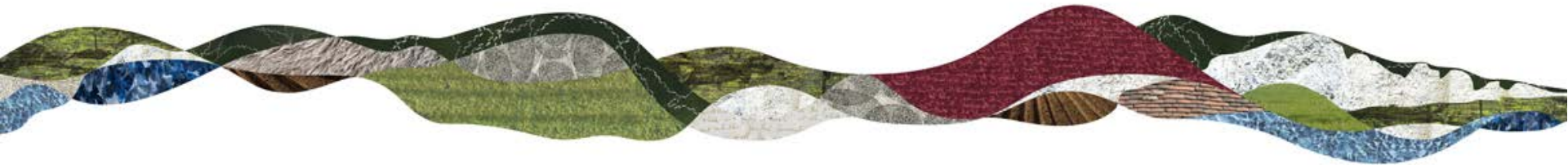




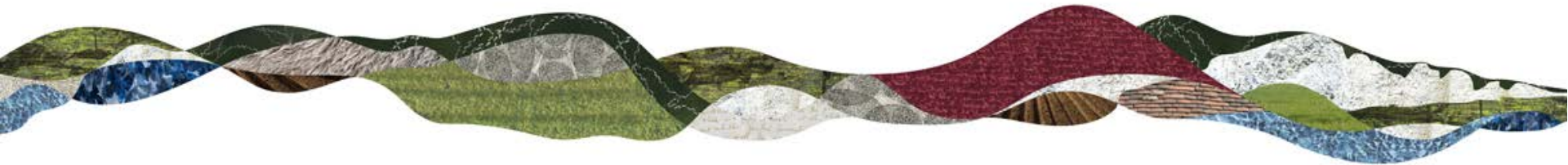




Southern Edge Proposed & Existing



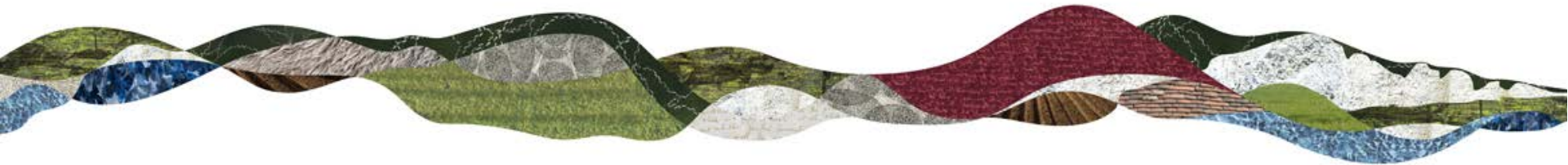
South Western Edge Proposed & Existing

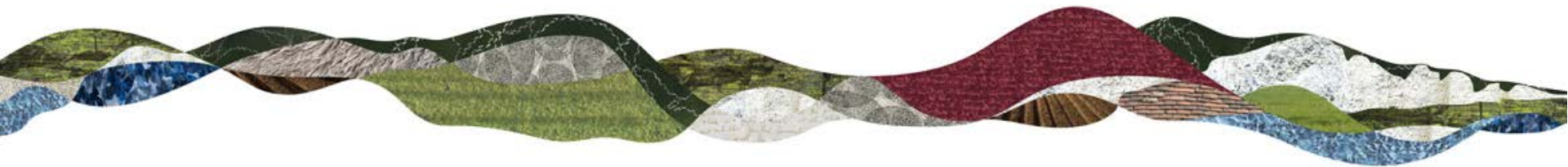


Materials Proposed



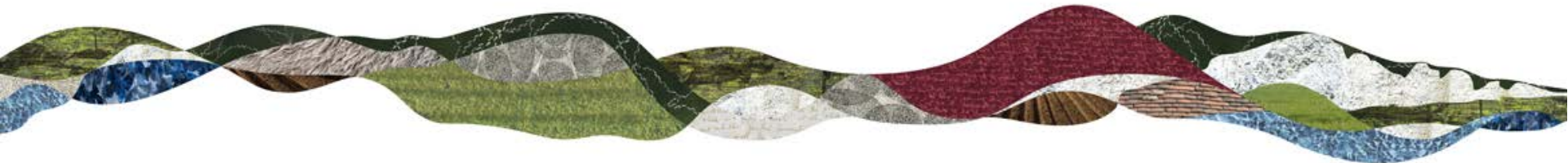
Materials Proposed



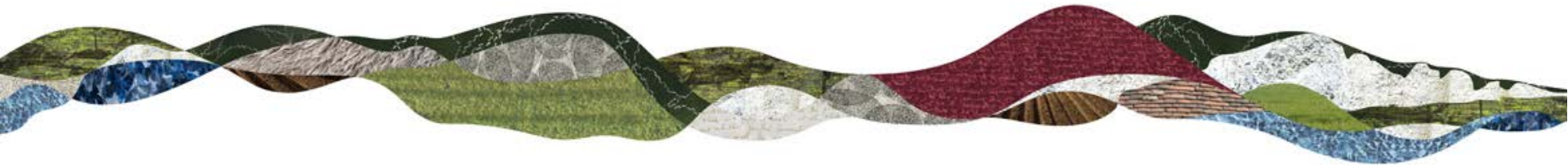


Previous Approved Scheme –

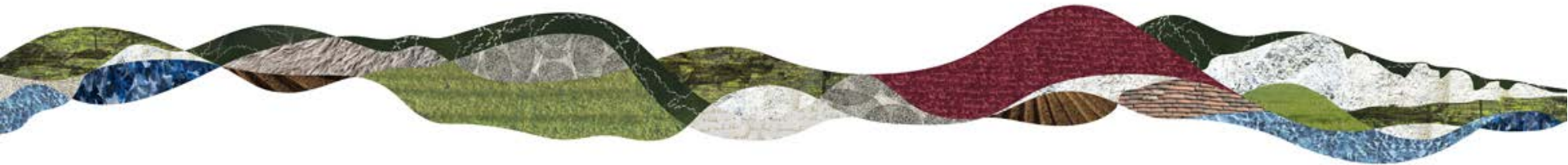
- Loss of brick detailing to existing scheme
- Loss of terraces
- Garages set back to provide parking to front on a number of plots.
- Glazing now more traditional.



Plot 28 Landmark Building within site

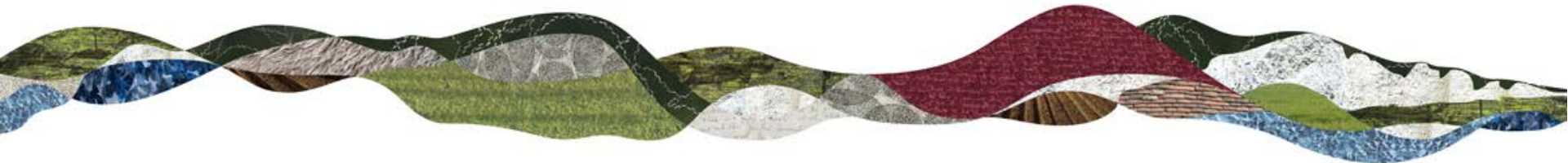


Plot 81 Landmark Building within site



Key Considerations

- Principle in terms of Minor Material Amendment to Original Approval
- Acceptability or otherwise of Architectural Changes
- Minor Landscape amendments – Boundary detail



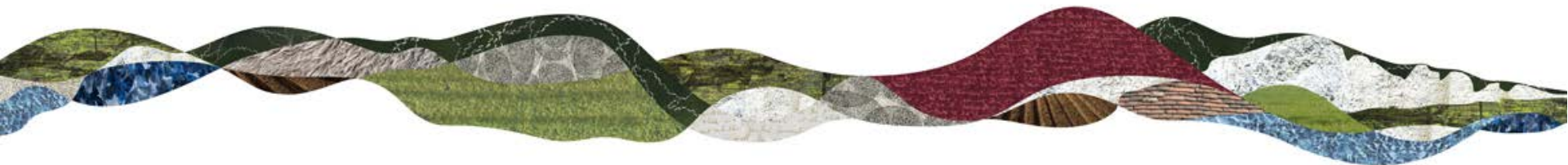
Recommendation

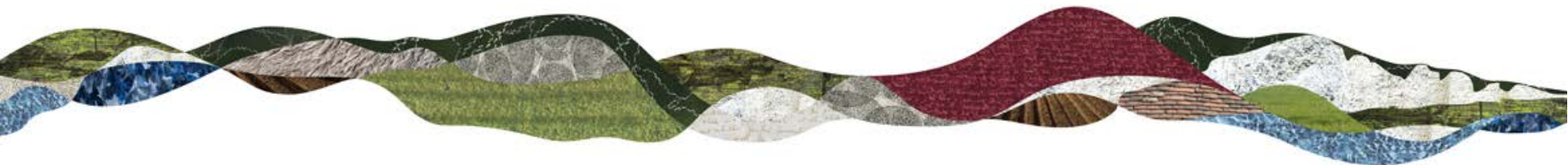
It is recommended that planning permission be granted subject to conditions within Section 10 of the report and subject to completion of a Deed of Variation linking this variation application to the original permission and to the already secured S106 agreement.

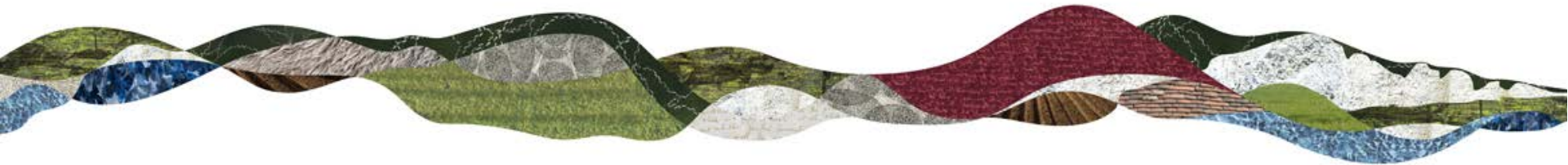


Other plans if required

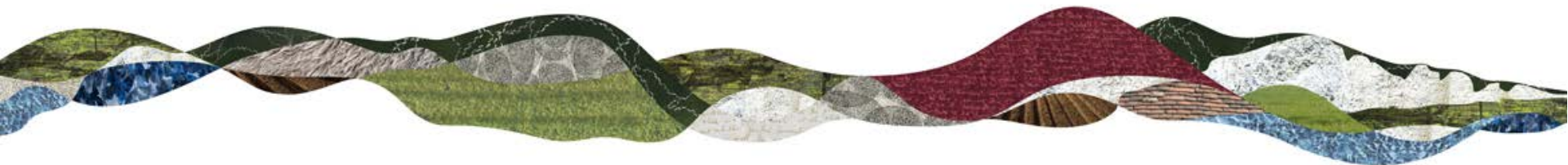


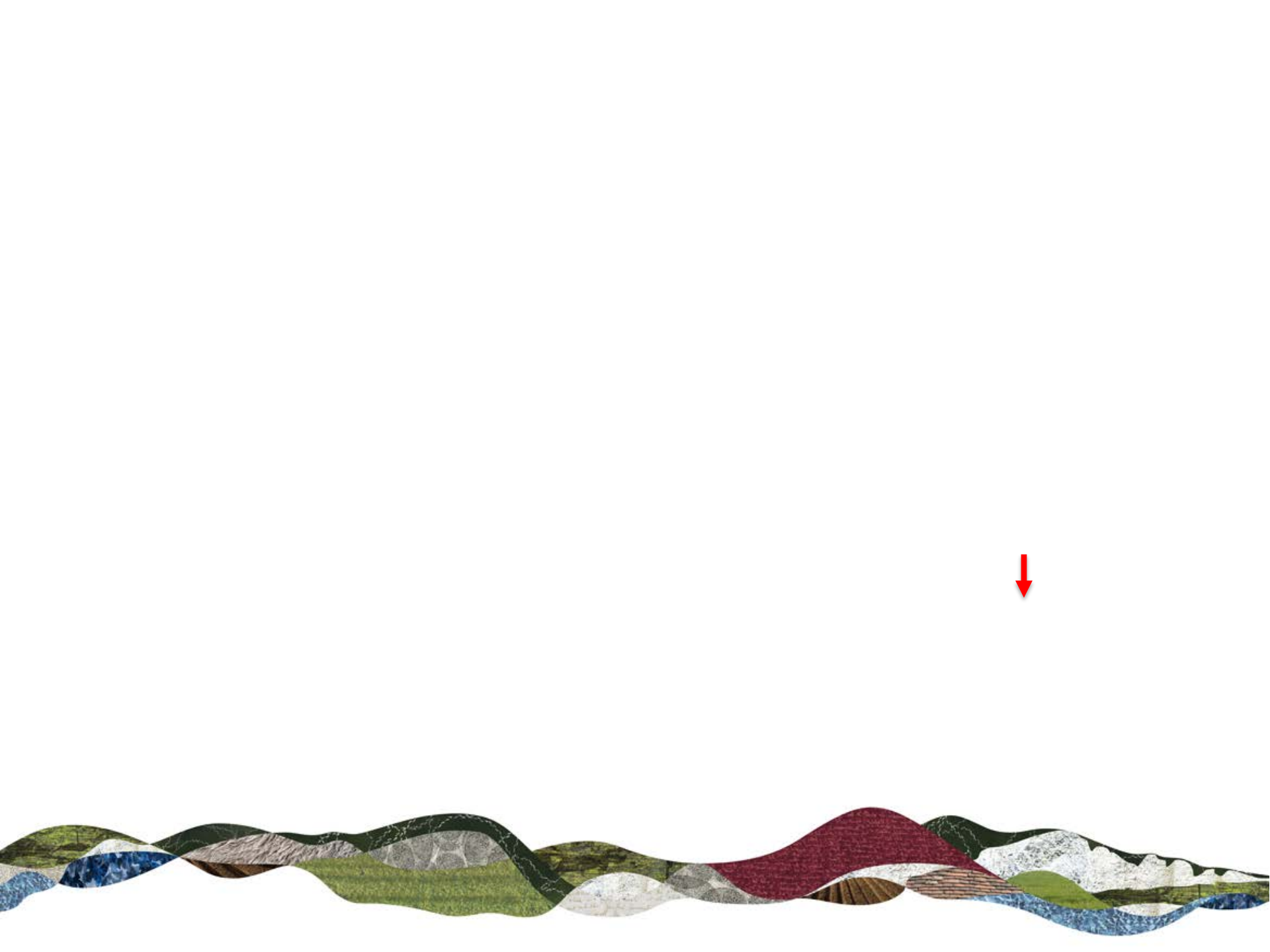




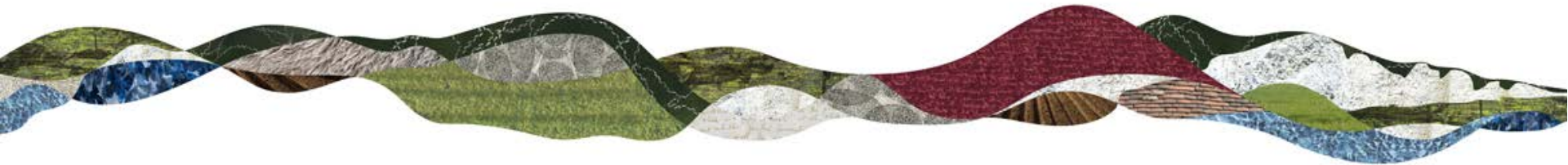








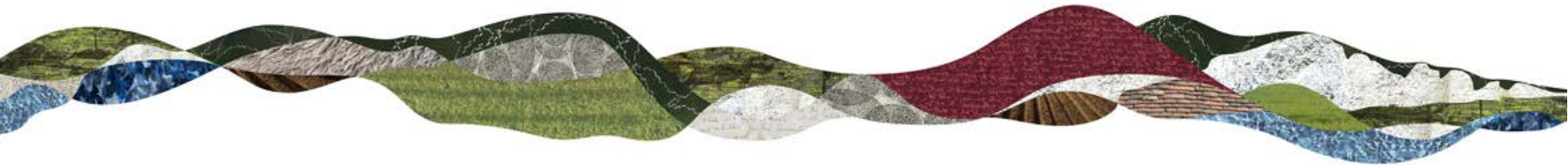
South Eastern Edge Proposed & Existing



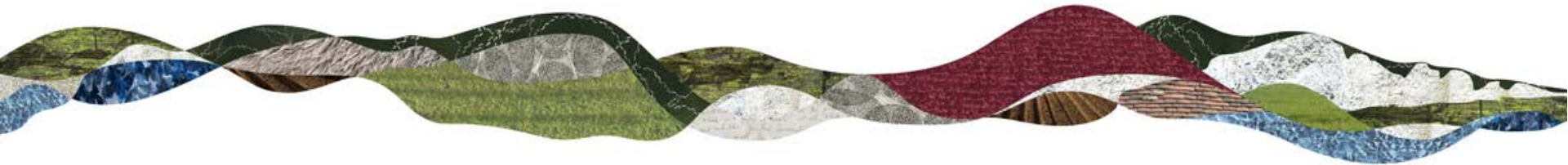
North Eastern Edge Proposed & Existing



Northern Edge Proposed & Existing



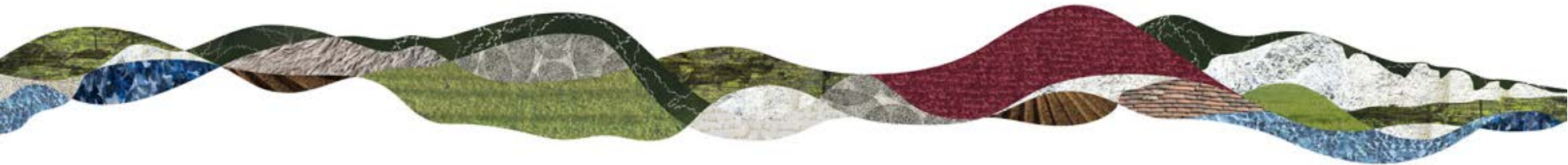
North Western Edge Proposed & Existing



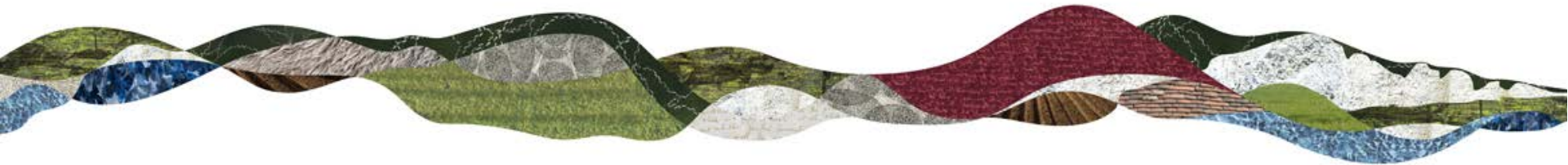
Central Green Corridor Proposed & Existing

Facing south

Facing north



Mews Proposed & Existing



Petersfield Neighbourhood Development Plan

- Improve view from South Downs into Petersfield
- Well designed frontages
- Development in south laid out so new gardens back onto existing
- Maintain mature trees and existing field lines.
- Maintain landscape buffer to north.
- Improved access to Tilmore Brook
- SDNPA/Highways to determine access
- Connection to nearest point of capacity in sewerage network.
- Future access to sewerage infrastructure.
- Mitigation in Sustainability Appraisal
- Mineral Resource information
- Indicative Dwellings : 89



SDNP/14/03777/FUL – Refused

- No clear legibility to layout
- Road Layout hierarchy unclear
- No central green link
- Properties turning back on landscape
- Various elements not relating to others within block layout

Also refused in relation to

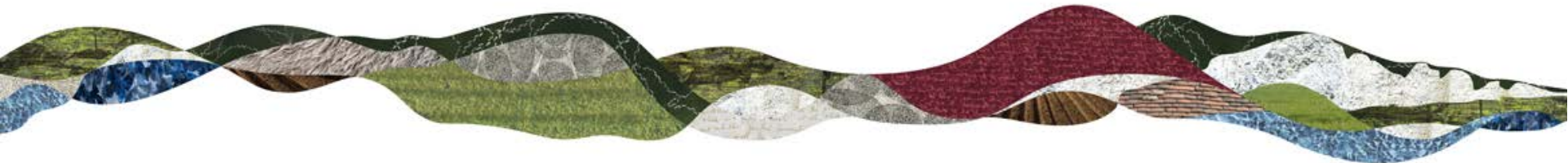
- Highways Layout within site
- Ecology
- Lack of financial contributions



SDNP/15/06484/FUL – Original Plans – concerns raised by Design Review Panel.

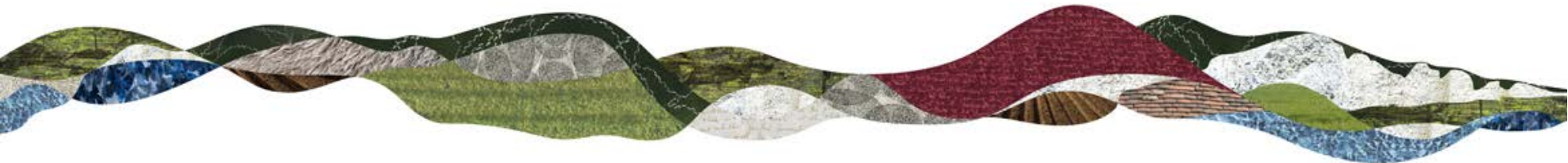
- Concerns about limited palette of standard house types
- Concerns about spine road leading into mews
- Street infrastructure and composition needing work.
- Limited active frontage in places

**Subsequent workshops held with
Review Panel to work on typology and
layout**



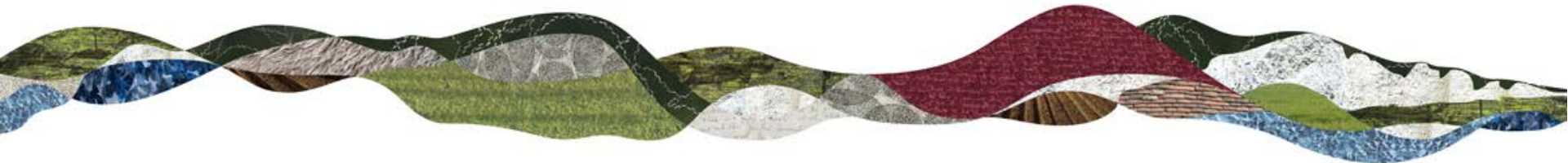
SDNP/15/06484/FUL – Current Amended Plans

- Clear legibility and Hierarchy of Streets
- Central Spine Road
- Green Link from west to east.
- Perimeter footpath around site
- Active frontages around site.
- Pedestrian/cycle access across southern boundary
- Buffer on west retained with exception of pumping station.
- Variety of House types and key buildings



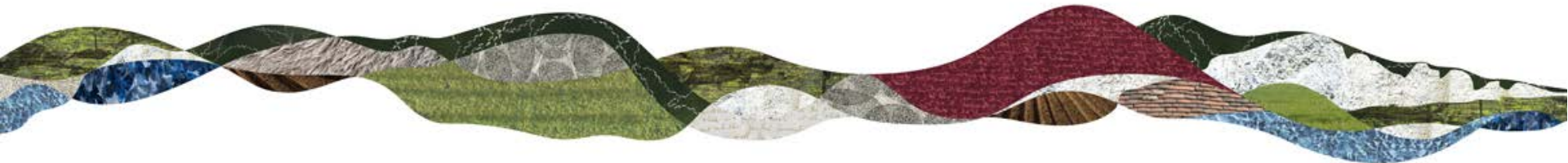
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- Buffer on west retained with exception of pumping station.
- Variety of House types and key buildings



Edge character

- Timber (Primary)
- Brick
(Secondary)
- Linear
Proportions
- Varied openings
- Gabled and
hipped roofs
- Protruding bays
- Timber
fence/estate rail
fences



Spine Road character

- Brick Material
- Brick
- Features/Textures
- Corner Glazing
- Pitched Roof
- Gable ends
- Protruding bays
- Timber fence/estate rail fences



Materials



Front Elevation



Material Character Reference



Mews character

- Brick Material
- Detail incorporating Wealden Features
- Vertically expressed uniform window proportions
- Uniform elevations
- Shared surface



Proposed Materials



Slate roof tiles



Brick Walls



Brick details

Material Character Reference



Northern Spine Road character

- Timber and brick
- Linear proportions
- Lower eaves height
- Dormers



Front Elevation

Housing Precedents



Proposed Materials



Dark clay roof tiles



Natural timber cladding



Green Link character

- Timber
- Window Features
- Pitched Roofs
- Gable Ends
- Up to 3 storey units
- No formal front gardens
- Linked to key green space



Materials

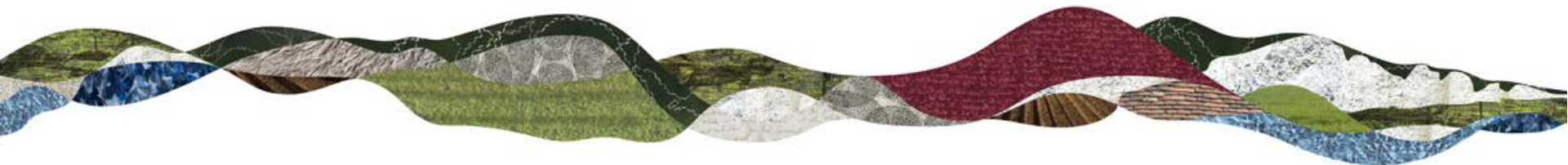
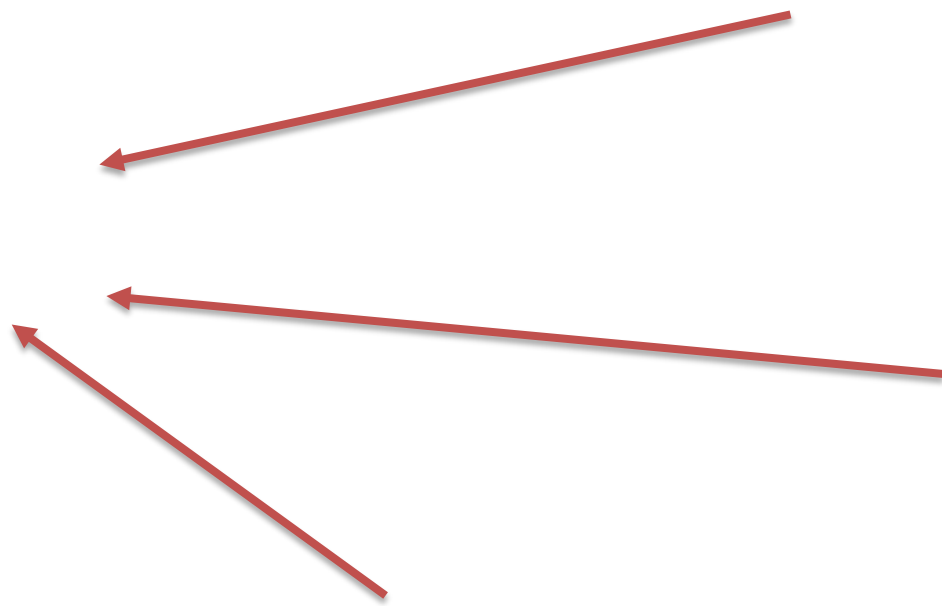


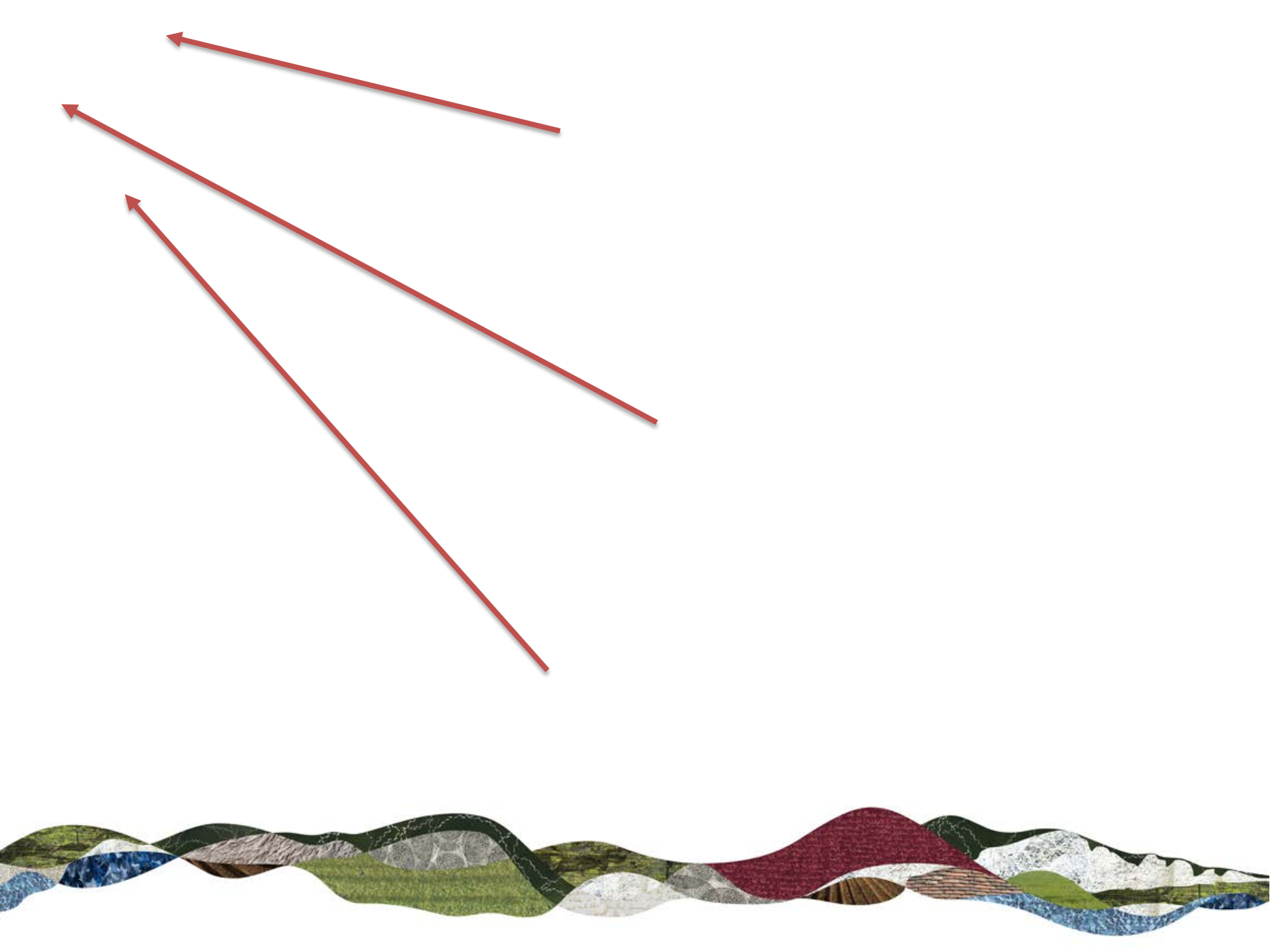
Front Elevation



Material Character Reference







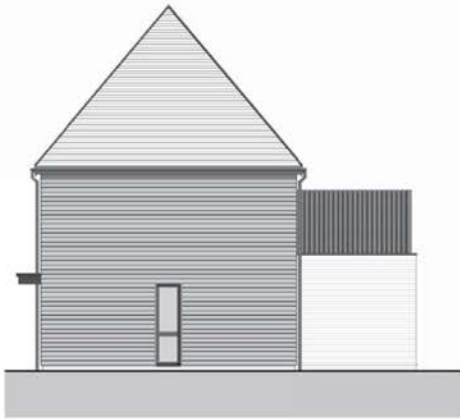
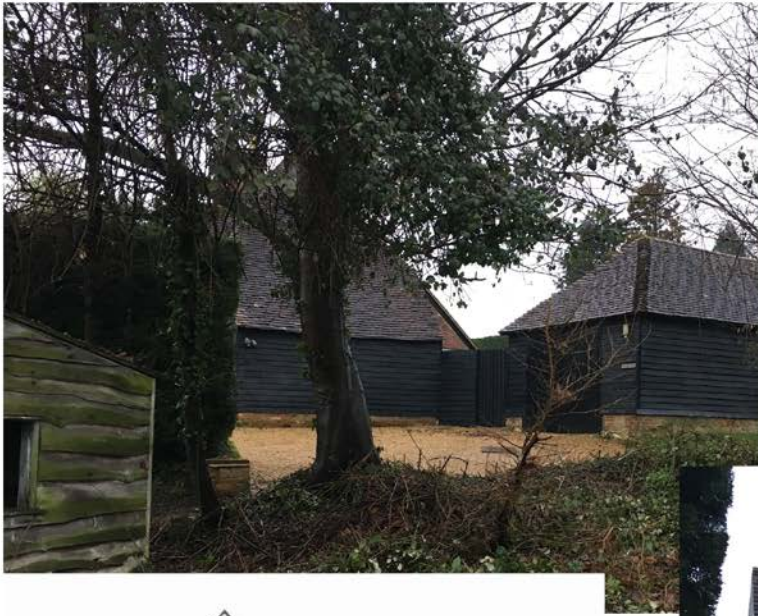












Right Flank Elevation





Petersfield, Conservation Area.



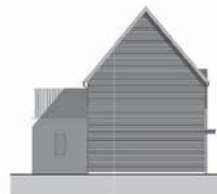
Front Elevation



Right Flank Elevation



Rear Elevation



Left Flank Elevation



Right Flank Elevation





College St/Station Rd, Conservation Area





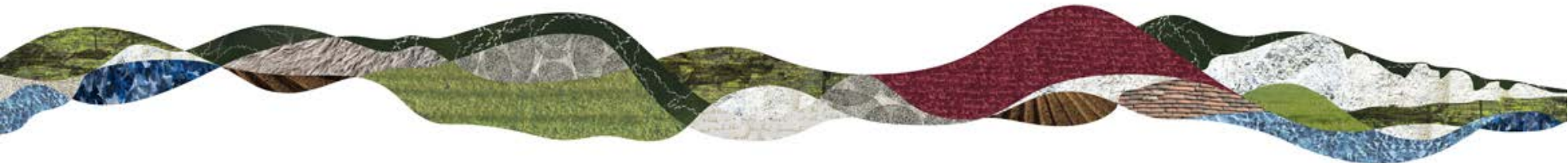
Front Elevation



The Spain, Conservation Area



North Rd, Conservation Area





Sheep Street, Conservation Area



Front Elevation



Rear Elevation



Front Elevation





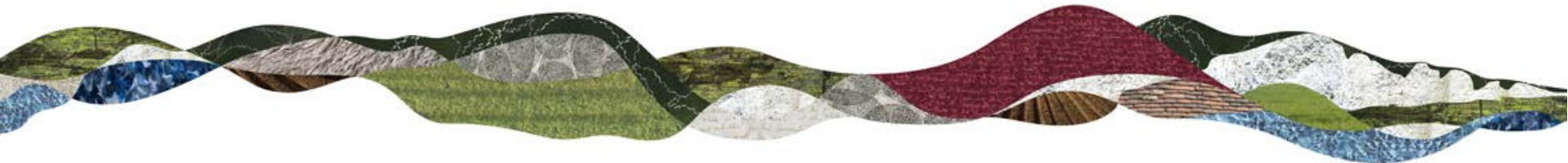
Front Elevation



Rear Elevation



The Spain, Conservation Area





The Spain, Conservation Area



Front Elevation



Right Flank Elevation



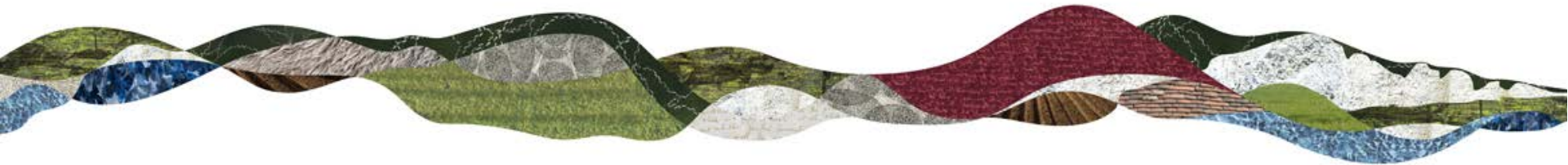
Rear Elevation

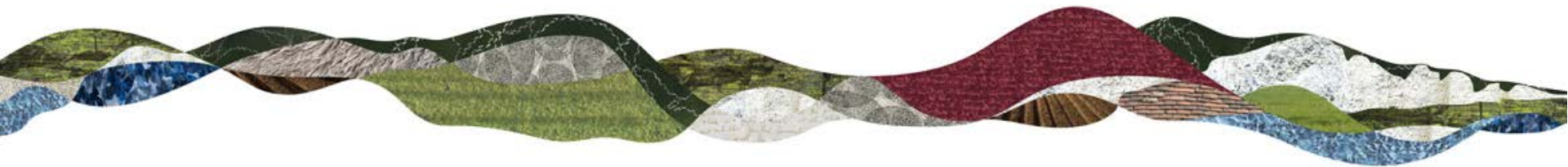


Left Flank Elevation



Building Heights





Affordable Housing





Key

- Existing Vegetation
- Natural Green Space
- Informal Green Space

sqm

13,276

2,417

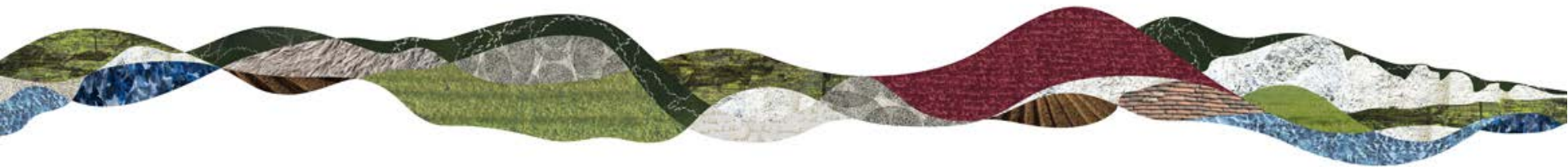
5,515

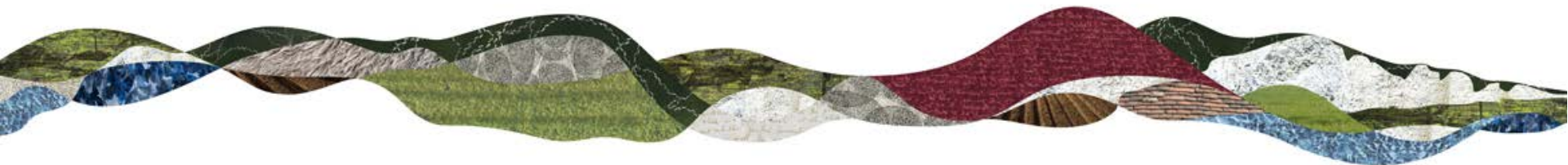


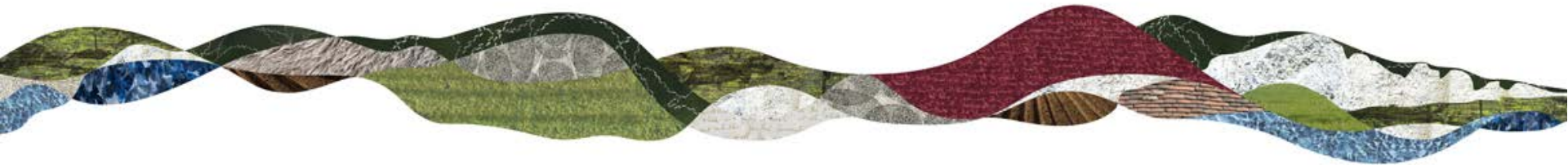
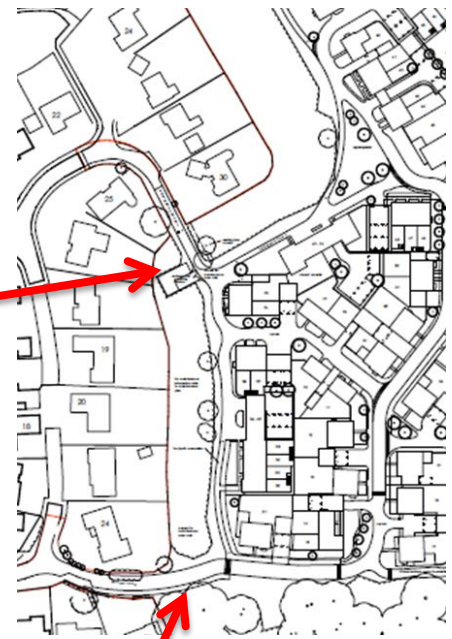
S106 Requirements

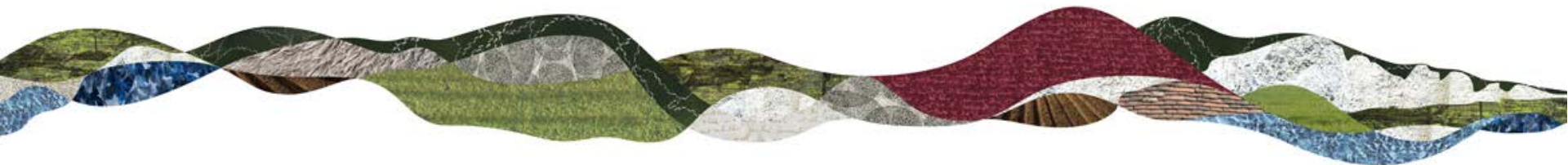
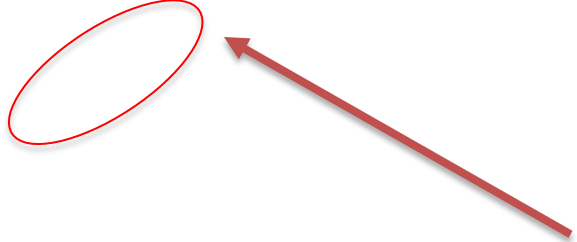
- 34 Affordable Dwellings
- £44,511 Public Open Space
- £300,670 Highway Infrastructure
- £103,920 Community Infrastructure
- £66,493 Employment Opportunities
- £21,250 Community Project Worker

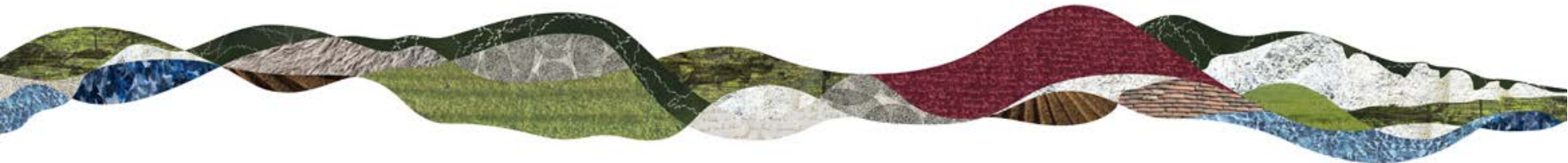
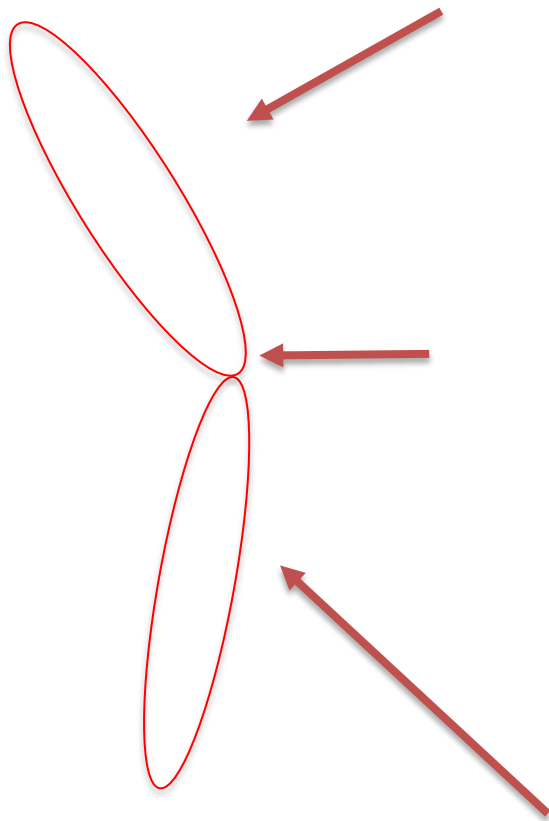


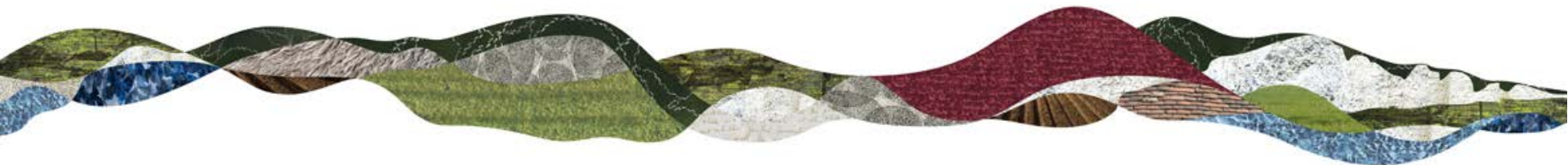
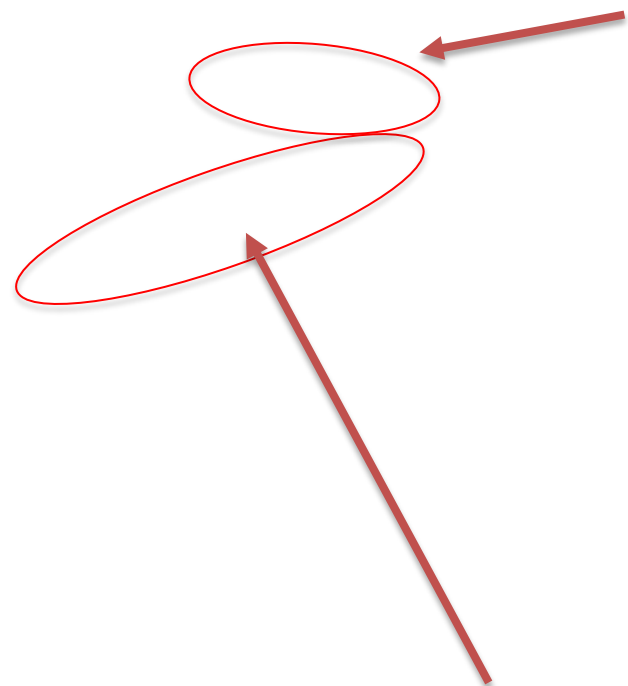


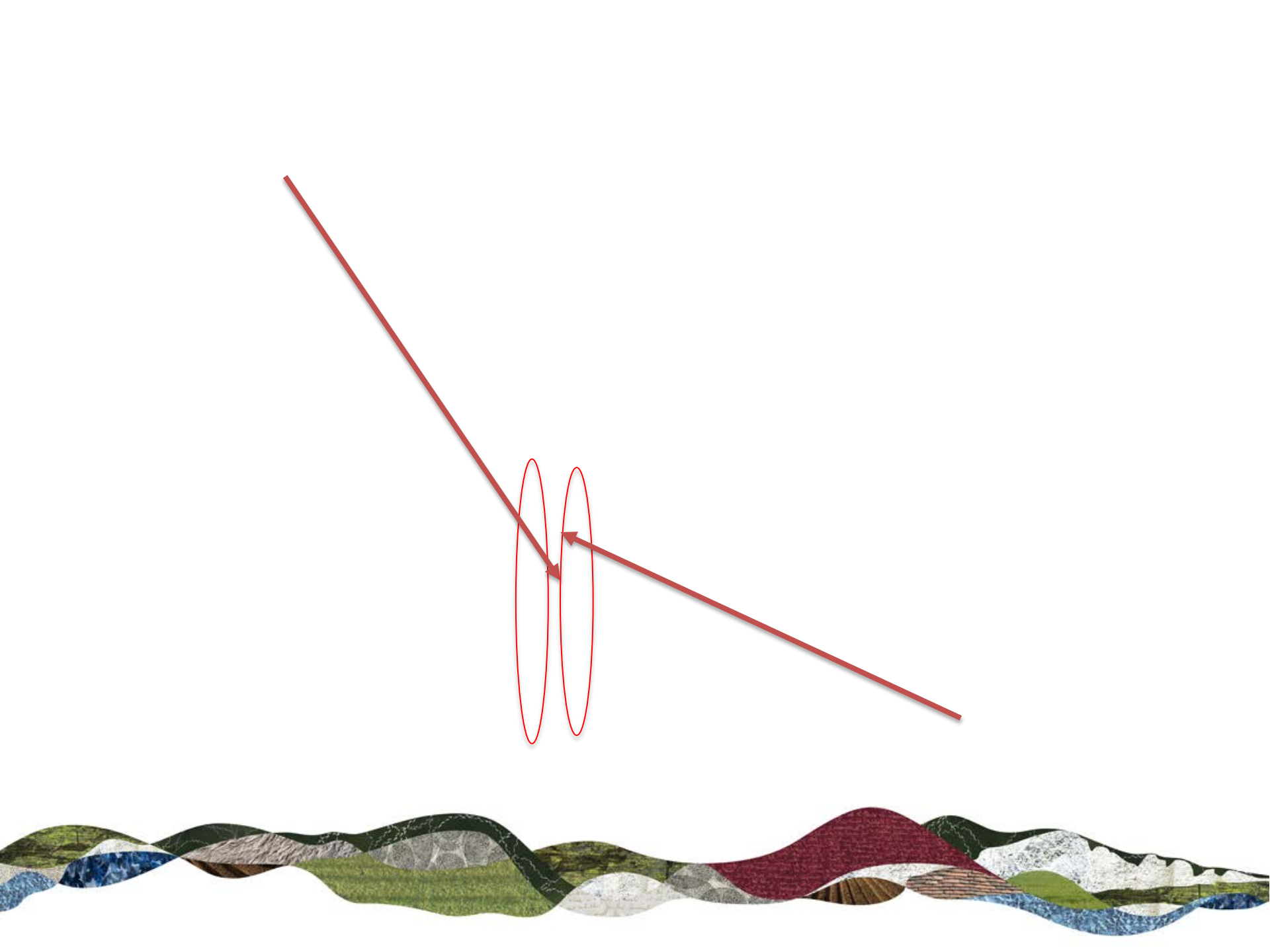


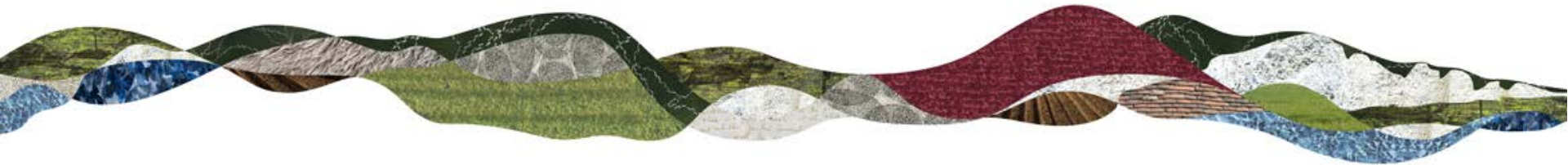
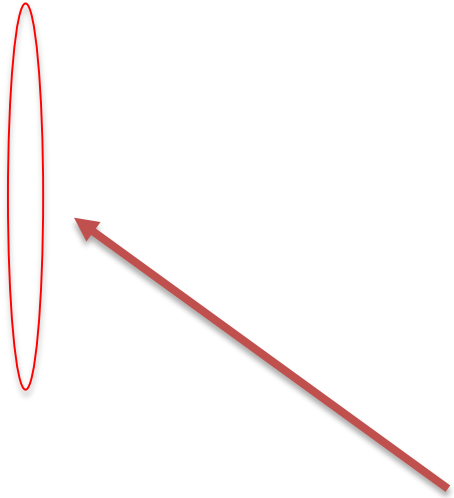
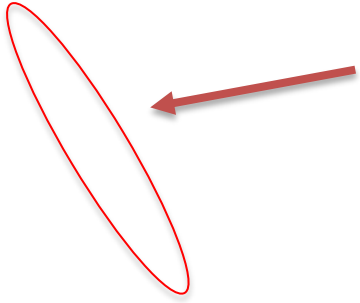












Sports Field towards eastern boundary - centre



Sports Field towards eastern boundary - centre



**South East Corner looking towards south
western corner**



**South East Corner looking north along eastern
boundary**



**South East Corner looking north westerly
across site**



North East Corner looking south across site



**North East Corner looking along northern
boundary**



**North west corner looking along western
boundary (buffer)**



**Looking from western boundary to northern
boundary (note informal paths)**



**Looking towards western boundary (buffer)
and location of proposed pumping station**



Looking towards south western corner



**Looking towards eastern boundary – Leisure
Centre**



Southern cycle footpath



South West Corner



Access from Heathfield Road



Emergency Access from Barnfield Road



**Emergency Access from
Barnfield Road**





