

An aerial photograph of a village with stone houses and trees, set against a dramatic sky with clouds. The village is nestled in a valley, with rolling hills in the background. The houses are made of stone and have red-tiled roofs. The trees are lush green, and the fields are golden yellow.

East Meon Pattern Book

Submission Draft

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A Patternbook for EAST MEON

Detailed Characterisation Study

This Pattern Book was
produced for East Meon with
the help of its residents in May
2016 by Jackson Planning Ltd

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Executive Summary

East Meon is a very special village that despite significant relatively recent change retains its historic street pattern and form; it is an ancient settlement and was recorded in the Domesday Book when it had 138 households (although this figure relates to a vastly larger area than today's East Meon).

This study has been developed alongside the Neighbourhood Plan and includes a review of the 1999 village design statement and fulfills a guidance role on characterisation of the village to assist in guiding future development. The characterisation study is presented as a Pattern Book it is a focused objective assessment of local distinctiveness of village based on detailed study of its streets.

The pattern book builds upon previous characterisation studies including the Village Design Statement and the Conservation Area Appraisal.

The survey of character was carried out using a detailed street survey, which was then recorded in a tabular format with reference photographs. This provides a detailed reference of the key streets. The street survey forms a record of character for the village

Characterisation is considered at four scales:

1. Settlement Scale (The village)
2. Spatial Scale (Layout/ Townscape)
3. Building Scale (Streets)
4. Detail Scale (Buildings)

The pattern book considers the development at all these scales.

The key findings at each level of characterisation supported by the evidence from the street surveys was recorded as follows:

Settlement Scale – defined by the River Meon and Park Hill

Layout/ Townscape – Retention of the original grid and clusters beyond this

Building Scale – Streets are fine-grained with strong building lines, generally two storeys, strong enclosure at the centre, and loosening up on the periphery, a cohesive range of materials reflecting the local geology.

Detail Scale -Buildings – Simple rural vernacular rather than highly ordered proportions.

The study of the character has led to development of three very specific policies two covering new build and one for replacements or extensions.



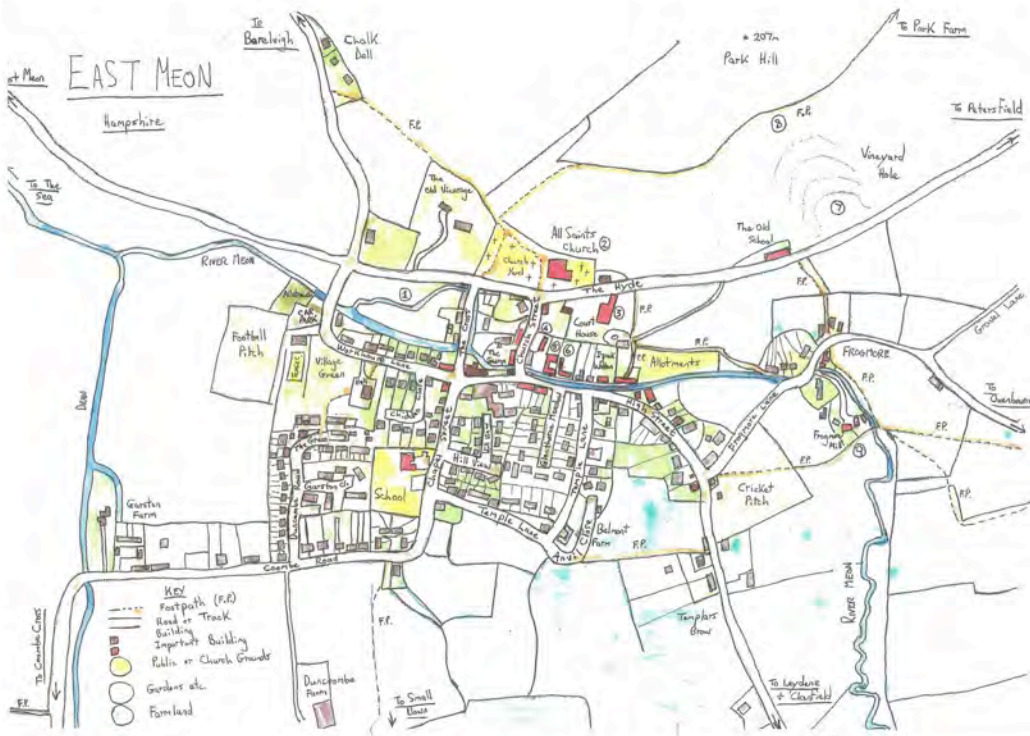


Image above is hand drawn map of the key characteristics of the village as identified by a resident

Introduction

This pattern book has been developed to support the neighbourhood plan for the village.

This objective assessment of the village character will inform the design solutions for future development so as to ensure that it is locally distinctive and recognisable as 'of East Meon'.

The pattern book has been developed to assist with the housing development sites allocated in the Neighbourhood Plan and has set out a

series of rules that can be checked against this pattern book by anyone assessing the submissions made by applicants for planning consent.

It will also assist with redevelopment proposals, infill proposals and extensions to dwellings.

The policies apply to the area within the settlement boundary and the allocated development sites.

Pattern Book SECTION ONE



“Most of the views of the village and its surroundings are harmonious – a pleasing balance between the downs, fields, hedges, woods and isolated trees, the course of the River Meon, the farms and then the buildings and open spaces which make up the village itself. This balance must not be disturbed.”

VDS 1999

Previous Studies

Village Design Statement (VDS) 1999

The first VDS for the village was developed in 1999 to record what the people who lived in the village felt was special about it and to make recommendations for future change. At 17 years' old the VDS is nearly a mature adult and despite advances in time and technology many of same themes persist in the village.

The VDS was adopted in 1999. This current characterisation study does not need to repeat the background history and findings in detail, these remain valid in the original VDS, this review allows a retrospective of the effectiveness of the first VDS to help develop stronger policies to protect the village.

The VDS remarked in 1999 that it had few open spaces and no central green or square. The more recent development "The Green" created that village focus and generally in spatial terms is considered a success for the village.

The VDS identified the key open spaces in the village: including the northern end of Glenthorne Meadow, the allotments, the recreation ground and cricket pitch. The two fields between Frogmore and East Meon were identified as important in dividing these two areas.

The VDS went beyond issues of just design and were a pre-cursor to the NDP.

Key findings relevant to future development were as follows:

- The open ground separating is East Meon from Frogmore should be protected
- Any new settlement must contain only a small number of units
- The design of any new building or modification to be a contemporary design but in sympathy with the past and proportionate in size
- New buildings must use high-quality materials which blend sympathetically with present structures
- The compact development pattern of East Meon and must be maintained and the current boundaries strictly observed
- Should any new construction be sanctioned it must not harm the delicate balance of open and built-up spaces, particularly on the perimeter of the village
- New development should not always attempt to mirror what already exists – diversity should reflect the current period, not the past
- However, it is important that the design and construction of new buildings should match the quality and diversity of the past; architects and designers should be encouraged consistently to use natural and where possible local materials and to continue the tradition of interesting

- detail to retrieve architectural blandness.
- New buildings should reflect both the size and scale of existing buildings and their position within the building plot.
 - Height to eaves should not normally exceed 5 m, pitched should be a minimum of 35° and a maximum of 50°; overall height of a two story house should not normally exceed 8 m, excluding chimney stacks.
 - No building over three stories should be permitted.
 - Any new building, extension or conversion must observe the high standards of design and materials, which should reflect the vernacular of its surroundings.
 - Due regard should be paid to fencing or hedges, streetscape roofline and siting on the plot.
 - New buildings and alterations should avoid elevations which are unrelieved by variations in design and plain; where there is more than one building, roof lines should be similarly varied. Flat roofs should be avoided.
 - All building should incorporate design details as part of the structure, but simply take them on as afterthought.

- Recommended design details are: curved lintels, brick or wooden windowsills, tile hangings, dormer windows where they match the period of the building, small windows.
- Details to be avoided except where there is a strong argument in their favour are: large picture windows, pre-fabricated conservatories in prominent positions, which do not complement the style of the building to which they are attached.
- New buildings and extensions or modifications should be designed with close attention to using local materials and detail so that they integrate with the present pattern of the village
- Recommended materials are: for walls knapped flints, quality stock bricks with complimentary mortar, wood cladding and render panels, chalk block.
- For roofs: Slate, thatch and clay tiles
- Other elements include timber and PVCU windows, painted or stained appropriately, timber framing with brick in-fill.
- Materials to be avoided except where there is a strong argument in their favour: concrete tiles, aluminium windows, PVCU boarding, mortar which clashes with the colour of the bricks, large expanses of anodised aluminium, stone cladding.

- Street layout should conform to the existing patterns and should not put stress on the existing lanes and main street. It is important that any new development reflect the grid and cluster layout, which match the settlement pattern as it grew along the banks of the River Meon.

The 1999 VDS has been tested by the development of The Green, the largest of recent development schemes within the village. The scheme splits opinion in the village. Generally the location and form of the development and the significant gain of the village green have been supported, however, the over fussy detail, the use of dormers to create third floors in dwellings and the use of garish render, parapets and bow windows that are not found in the village.

This suggests that the design policies need either to be stricter or applied more rigorously, or potentially both.

The retention of the grid and cluster layout is the key consideration to be taken forward in the new plan.

Many of the aspirations of the village are reflected in the current wishes and aspirations of the neighbourhood plan and are being carried forward in the draft. The Green Spaces identified as important to character are those that were identified in the consultation events.

The strong guidance that developments could only be small scale to be properly assimilated in village character remains the key theme of the consultation for the drafting of the neighbourhood plan.

Previous Studies

Conservation Area Appraisal

A new and updated Conservation Area Appraisal and Management plan (CAAMP) was drafted in March 2015 by SDNPA; it was adopted by the Council in November 2015.

The CAAMP notes the following about the village. East Meon is especially notable for:

- Its striking and unspoiled location on the upper reaches of the Meon Valley
- The Twelfth Century Church of All Saints, one of the finest parish churches in Hampshire
- A long association with the Bishops of Winchester
- The late Fourteenth Century Court House, an exceptional survival of medieval domestic architecture
- A varied collection of timber-framed domestic architecture from late medieval and post medieval periods
- Wide survival of a thatch tradition in a village context
- Glenthorne, an imposing example of a brick built house of 1697
- A varied sample of well preserved Eighteenth and Nineteenth Century cottages, houses and villas
- Linked nodal historic development at Frogmore
- Survival of public houses and retail businesses, serving the village and its hinterland

Whilst the conservation area covers the core of the village, there equally is as much built development outside the conservation area that is not designated. The proposed new development to be allocated in the neighbourhood development plan will fall outside the conservation area.

In addition the CAAMP does not provide specific design advice on proposals that could affect the character of the conservation area or the wider village. The CAAMP does offer some useful exploration of historical development of the village repeated here, and then explores in detail the significant listed buildings with a good photographic record. This is a useful resource when considering change to the notable buildings in the conservation area.

Historical Development of the Village

The following was kindly provided by the East Meon history group.

Early societies built settlements near the sources of rivers, and many traces have been detected near the source of the Meon of prehistoric and then Roman occupation. In Saxon times, the Meons were given as a christening present from King Wulfhere of Mercia (656AD to 675) to King Adelwalh of Sussex. Then East Meon was part of a Royal Manor belonging to King Alfred the Great. In 970 AD, the Saxon King Edgar granted 'that famous place which the locals have always called Aet Meon' to his grandmother Eadgifu, the widow of King Athelstan.

East Meon was then a Minster, administering a Hundred, which reached the border with Sussex. There were two manors of East Meon, both owned by the Bishops of Winchester. These are recorded in the Domesday Book, which lists seven mills (the remains of three of which still survive within today's parish).

An important Norman church and mediaeval Hall were built by successive Bishops of Winchester, including Henri of Blois, who also contributed the Tournai Font, and William of Wykeham, who constructed the Court House in the 1390s. These were almost certainly built on the remains of Saxon predecessors.

The two manors (East Meon, and East Meon Ecclesia) were administered by the Bishops, or more often their Stewards, from the Court Hall; their records are in the Winchester Pipe Rolls. The structure of other hall houses survive from this time, most notably Forge Sound and Riverside, located at the point where the river could be forded.

In the late 16th and early 17th centuries, population and prosperity grew, and a number of yeomen were able to build substantial cottages (some very close

together, in defiance of the Act of Settlement, which stipulated that each should own at least four acres). The Tudor House was rebuilt from its original hall house in the 1580s, Heycroft House built at around the same time, helping define The Square, which was a focal point of the village; just down The Cross, the Angel Inn was built (now Cross Cottages), and Kews Cottages further down what was then Cross Lane. Forge, Hockley and Old Bell Cottages date from this time.

During the Civil War, the Parliamentary General Sir William Waller mustered his troops "on a heath adjoining East Meon – probably near Langrish - and the cavalry at Frogmore. On its way towards the Battle of Cheriton, the entire 12,000 strong army marched through the village.

After the Restoration, the Bishop of Winchester was restored as Lord of the two Manors, but tenancy of the land was granted by the King to his financier Stephen Fox. The tenancy passed to another Norfolk family, the Sharrocks, who in turn rented it to East Hampshire landlords. Several new large estates grew around the village, including Westbury House, Bereleigh, Oxenbourne, Langrish and Bordean. The Tithe Apportionments of 1852 show that a small number of local dignitaries, including Viscount Gage, John Bonham Carter, Sir William Jolliffe, let the land and buildings to farmers and residents.

During the 19th century, the population trebled, while agricultural work declined in the Meon Valley as elsewhere in Britain. The end of the Napoleonic Wars, the repeal of the Corn Laws, the Inclosures (which were enacted here in the 1850s) and increased mechanisation of transport and farming reduced the capacity of the land to sustain large workforces. Refrigeration and steam transportation led to increasing exports from the New World. To accommodate unemployed or underpaid farm workers who had lost their homes, many houses in the village were divided up.

The village Workhouse had been run by the parish since 1727 but was closed down in the 1839 and the residents moved to the Union Workhouse in Petersfield. The National School was built in 1845 and as many as 177 pupils were registered at one time (paying fees of 1d a week). The registers show how mobile families were, travelling wherever work was available. In 1894, Langrish parish was created, reducing the parish of All Saints to its present size. The Bishops of Winchester finally lost their manorial rights to the Crown Commissioners in the 1920s.

A number of village buildings had suffered from dereliction and were either burned down or demolished. Many were owned by the Portsea Island Mutual Cooperative Society. Some derelict cottages were bought and restored by the owner of The Court House, Morley Horder, who also did substantial and sensitive work on The Court Hall itself.

The High Street during the late 19th and early 20th centuries was a busy centre for trades and shopping; from brewing to butchery (including slaughtering) to wheelwrighting, every need was catered for at a time when few had the means of travelling to the nearest town.

From the mid 19th century to the 21st, the size of the settlement doubled, Post-war growth saw considerable development with council housing (later, social housing) being built to the south and south west of the village. In the 1950s, the river Meon was re-engineered along the High Street to prevent the flooding which had frequently engulfed housing on both sides; the present harsh brick and concrete walls were built and a culvert introduced parallel to Workhouse Lane. The 1960s saw new housing, including bungalows, along Workhouse Lane and up Chapel Street, as well as new Village Stores at the end of the High Street and a new Primary School on Chapel Street.

The Village Institute, built in 1887, had become unsustainable by the 1960s, and its site was sold off to help

pay for a new Village Hall on ground to the south of Kews Meadow on Workhouse Lane.

In 1986, East Meon was chosen as 'The Domesday Village', because its layout and character reflected that of the 11th century; it has over 50 grade I and II listed buildings. In 1999, East Meon produced a Village Design Statement, and the last significant development, on what had been Kews Meadows, in 2002 observed the spirit and the letter of its recommendations.

The arrival of the Internet has helped change the pattern of employment in East Meon, which introduced its own broadband network in 2002, in advance of BT introducing it to rural communities. Many now work from home, as do a number of skilled trades-people whose vans are their livelihood.

The **CAAMP 2015** identified the following from regarding historic development:

Settlement Form

The river Meon flows through the centre of the village, along most of the High Street it divides when it meets The Cross. At the northern end of The Cross, the river doglegs again and resumes its Westerly flow. A new culvert was dug in 1955 in response to severe flooding.

The prominence of the river valley in the village scape is marked in contrast with other villages in the valley.

Frogmore is a quite separate node from the main village well to the east and linked to it by a lane leading to High Street at its eastern end by the village forge.

The conservation area appraisal records, with the exception of a few examples, that most of the buildings within the village are relatively modest, two storey and the domestic in character. Timber frame construction is found throughout the village with examples from the 14th century to the 18th century.

There are 50 listed buildings in the village which contribute significantly to the built character and settlement form and there are more surviving Hall Houses relative to the size of the village than elsewhere in Hampshire.

The painting of brick elevations is a fairly common occurrence within the village where this follows the habitual application of limewash over protracted periods it has some historical precedent.

Flint is often used for boundary walls within the village and makes an important contribution to the character of the conservation area. It is used rather more sparingly for buildings, however with the notable exception of the Court House, the Forbes almshouses and Flint cottage.

Typically for the Meon Valley, roof coverings are normally plain clay tile or thatch. Evidence from old photograph suggests that thatch much more common than is seen today and traditionally within the village thatch utilised long straw.

Where traditional joinery survives it is typical range of timber sliding sash and casement windows and timber board panel doors.

The conservation area appraisal also identifies negative issues and opportunities that affect the character of the conservation area. The western end of the High Street has been affected by the loss of traditional buildings and the replacement with much less synthetic might development.

The conservation appraisal identifies that as an historic settlement of this age, it has archaeological potential for below ground historic remains as well as historic buildings and structures. There are areas of high archaeological potential from around the Church southwards through Court House and the High Street.

The management plan section of the conservation area appraisal identifies that the special character of the area can be degraded through the loss of architectural features and traditional materials, particularly roofing materials. Individual changes maybe relatively minor but taken collectively they can represent a real threat to the special character; however this study does not go on to suggest any proactive policy in this regard.

There are no suggestions regarding the design of extensions or new proposals within the conservation area appraisal.

Landscape Character

The landscape character based analysis of potential housing sites in East Meon by David Hares 2015 for the preparation of the neighbourhood plan gives a thorough exploration of the landscape character. The following is the key extract from this.

The South Downs Integrated Landscape Character Assessment (SDILCA) identifies the village as being set within an area of Chalk valley system surrounded by Downland mosaic and overlooked by Major scarp to the North.

The village is also identified in the more local HCC Landscape Character Assessment. The village falls within two zones the Meon Valley and Meon Valley Floor, described as follows:

A fairly narrow major river valley with a relatively narrow valley floor passes through downland, lowland mosaic and coastal plain landscapes. Southern valley sides are indented by dry valleys and scarp faces in the downland section. It features an increasing proportion of

grazing and improved grassland land on the valley side from the downland to the lowland landscapes. Woodland is common on the steeper slopes and is a particular feature where the Meon passes through the lowland mosaic and coastal plain landscapes.

Internationally significant coastal habitats in its lower reaches and other nationally valued woodland and chalk grassland sites.

Extensive informal enclosure field patterns and significant water meadows (fairly simple layout) survive in the downs section while assarts and formal parliamentary enclosures dominate the lowland mosaic section.

Strong pattern of nucleated settlements within the valley at strategic river crossing points with relatively little 20th century expansion.

The work by David Hares identified that although the village fell into two character areas in the HCC study, the character of the village is consistent and falls within the valley floor zone. This consistent landscape character is an important driver in considering appropriate new sites and reinforces the cohesive nature of the settlement.

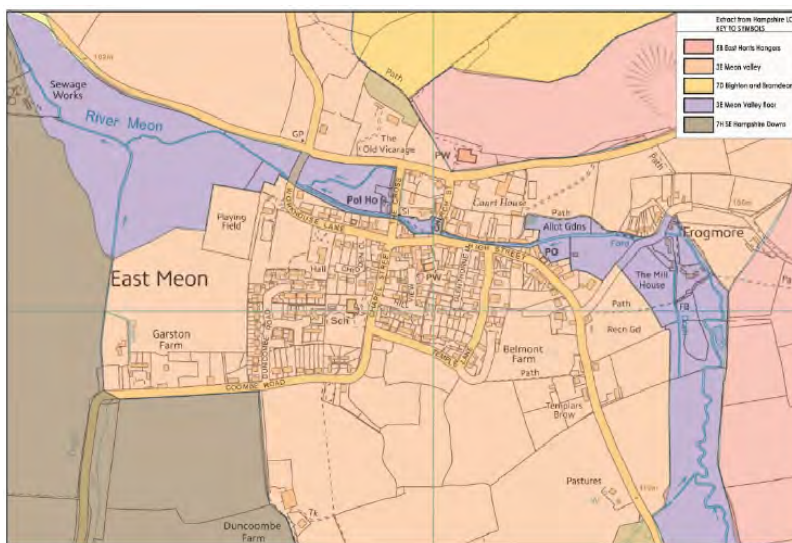
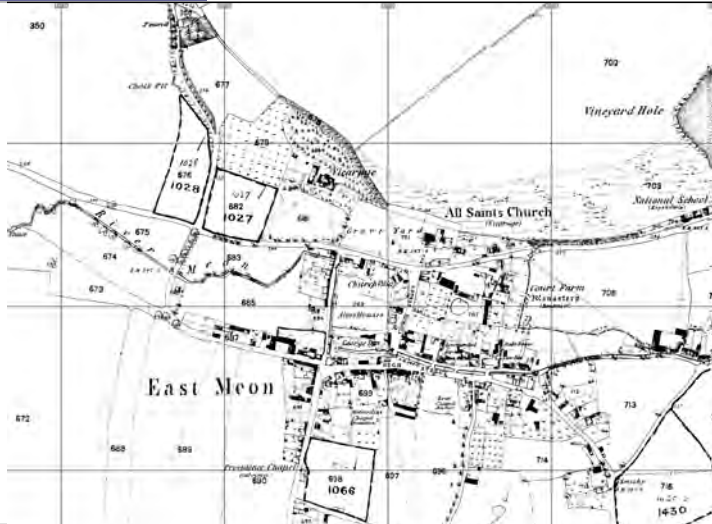


Figure 7 showing local landscape character areas based on a modification of the HILCA study



I. Settlement Scale Characterisation

The Village

The conservation area appraisal records the character analysis of the settlement.

The core of the village lies south of the main road running down the valley and does not have to accommodate significant through traffic.

The topography of the River Valley location gives the village a broad East West axis within that overall form however street pattern which appears on the tithe map is essentially that of a

grid. It is later construction of housing in the 20th century that saw part of the looser grid in-filled.

Mediaeval and early modern (16th and 17th century) building is often found throughout the street grid suggesting that its origins are early. There are no formal open-spaces in the village.

The key organising influences are the river and the very early street grid. The survival of the original form is rare and this is an important part of

the village character today.

The prominence of the river in the village-scape is in marked contrast with the other villages of the valley and is a very strong character feature within the settlement.

The separation of Frogmore from the main village is a key feature clearly still visible from the vantage point of Park Hill. See photo below.



The 20thC additions to the village were primarily local authority housing laid out with little regard to historic form and landscape character. The developments still look incongruous when viewed from in the context of the historic core. The 21st C addition, namely The Green has been more successful in that its form paid regard to typical Hampshire village forms that fronted village greens, however, the formally fronted open space was not a traditional feature of the East Meon grid and cluster.



Works envisaged to naturalise the River in the 1998 Village Design Statement being implemented Summer 2014.

“Although the basic Street plan of the village is a formal grid, the highways twist and curve sympathetically following the contours of natural slopes and the course of the River Meon; there are tiny lanes like The Cross and sweeping main streets with flint walls and no pavements.”

VDS 1998

2. Spatial Scale Characterisation Townscape/ Layout

Generally buildings face the road, but there are a number of houses that are at 90 degrees to the road. Within High Street the buildings have strong enclosure based on a lack of formal segregation of pavements and front gardens, elsewhere the enclosure is much less evident as the development moves to lower density and more outward looking on the periphery of the

settlement. This has been subject of criticism at Anvil Close where the true form of the cluster is lost in a more outward facing cul-de-sac.

The exception to this is the clusters which were often the original farmsteads

Layout and Grain

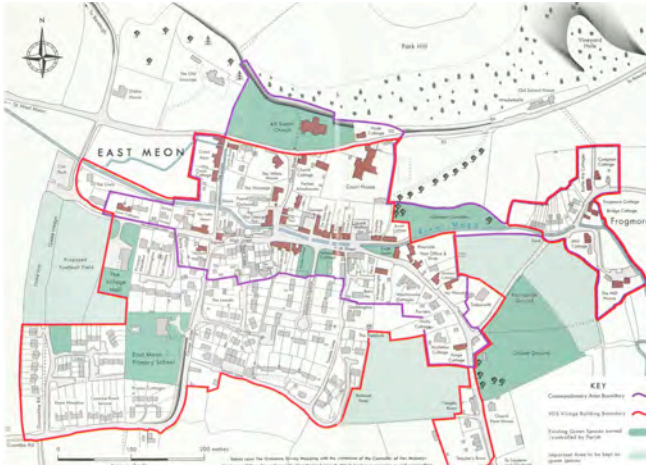
The characteristic parts of the village are fine-grained, both in layout and building detail terms.

The layout is a deformed grid with sweeping corners, rather than true grid, it is only the later 20th C forms that are more regimented.

“Temple Lane, where it flanks the southern edge of the housing in East Meon, demonstrates how latter-day developments were crammed along the fringe of a village causing unattractive results.”

VDS 1998

3. Street Scale Characterisation



Street Types:

Village Street
Original grid
Extended grid
Infill grid
Cluster
Extended cluster (cul-de-sac)

This characterisation study has examined building types in broad categories as part of the street survey. The street survey of the key character streets found a number of street types:

- ♦ Village Street
- ♦ Original grid
- ♦ Extended grid
- ♦ Infill grid
- ♦ Cluster
- ♦ Extended cluster (cul-de-sac)

The historic core of the village is formed by the original grid, which was surrounded by outlying clusters mostly

farm building groups – the village has expanded from the original grid with infill on the same orientation, this infill has then gone on to subsume clusters for example at Belmont Farm (Anvil Close) and along Coombe Road where the original farm buildings now form part of the street scene.

The river remains a key feature of street characterisation in East Meon and dominates High Street and The Cross in particular.

The original grid dominates the conservation area, outside the historic

core the grid has been expanded and infilled by later 20thC particularly planned local authority housing. More recent developments have been relatively small in scale that has preserved the grid and cluster form, the largest of the recent schemes being the Green, which is partially successful in responding to the village character.

Boundary walls are important part of the street scene character within East Meon especially along Church Street and Workhouse Lane.





4. Building Detail Scale Characterisation

The characterisation study has examined building types in broad categories as part of the street survey.

East Meon is entirely domestic in its scale a two-storey village with the occasional use of the attic with isolated examples of small dormers, roof-lights or gable windows. There are no full three-storey buildings in the village. As identified in the VDS the only dominant building is the Church.

The roofscape is extensively viewed from vantage points on Park Hill (see photo above) and is critical that form and colour are consistent to allow assimilation of new development.

There is extensive use of chimneys and these create a varied roofscape when viewed from wider landscape.

Windows are most traditionally sliding sash or timber casement with small panes and doors are timber panels.

The Conservation area contains good examples of the varied materials and details typical of the village these are recorded in the photo record of the CAAMP.



“The strength of East Meon’s buildings lies in the diversity of periods, the range of sizes, the wealth of details, the mixture of street patterns and the mingling of built and open spaces. Apart from the church, there are no buildings that dominate the village.”

VDS 1998

Design Policies

This stage of characterisation is part of the ongoing process to help East Meon retain its local distinctiveness, the application of the 'design policies' found in the built environment needs to be employed by the designers of the developments within the village and are proposed for inclusion in the neighbourhood plan so they can be applied rigorously.

These policies are intended for proposals within the settlement boundary and the allocated sites. They are essential to ensure that buildings blend in to the established village scene. This is particularly important given the elevated views of the village form as seen from Park Hill, the cohesive nature of the village in character terms, the limited palette of materials and the complete survival of the grid and cluster form of the village. These policies are based on evidence from the detailed street surveys.

New Build Policy

Policy DP1

Layout and Form

All new buildings will be located in the established settlement pattern of the grid or within clusters. All new buildings must conform to the following design parameters for form:

- New buildings shall not exceed two storeys, with a pitched roof of between 37 and 45 degrees.
- Accommodation in the roof of new buildings will only be permissible when it does not involve a dormer or mansard roof form to create the accommodation. Windows in gables are preferred and only small dormers that provide light, not floor space, will be permitted. Chimneys should be included on dwellings where they reflect the character of the street scene.
- The scale of any new building must take into account the scale of the existing buildings in the immediate area. The layout of the building should follow established building lines. Separation distances between buildings should reflect the street scene and should be similar to neighbours'.

Policy DP2

Building Materiality and Detailing

Roofs of new building will be covered in thatch, clay plain tile or slate. Facing walls of buildings will be finished in brick, traditional flint work, lime-based render, tiles or riven, lapped timber cladding. The revived use of chalk cob would normally be considered acceptable.

Windows and doors shall be finished in timber, though high quality, treated or coated metal windows may be considered. Windows should be small paned, especially in the context of established street frontages. Window openings should normally be of a traditional size and disposition, unless a requirement for larger glazing expanses can be proven, through modelling, as essential for thermal performance.

Policy DP3

Outbuildings and Enclosure

All new dwellings will have enclosed front and rear private garden areas, they will have a suitable form of enclosure which will be either native hedging, timber post and rail or brick or flint walls. Use of existing, natural boundaries will be expected wherever possible.

Outbuildings must be sympathetic to the host building and should generally have a pitched roof and be finished in the same palette of materials set out in policy EM7.

Extensions and Alterations Policy

Policy DP4

Any extension or alteration to a building within East Meon must be sympathetic to the host building in terms of scale, proportion, materials and details and sympathetic to neighbouring buildings where these are viewed together. The contextual characterisations are recorded for most parts of the village in the street surveys in the East Meon Pattern Book and in more general terms in the Village Design Statement. Proposals must demonstrate that they have considered the recorded character and village design statement guides, as set out in the East Meon Pattern Book. Applications that reflect the Pattern Book will be supported.

Summary - Key pattern book points

- ♦ Intimate relationship with the surroundings Downs
- ♦ Grid + cluster layout
- ♦ Distinct separation between East Meon and Frogmore
- ♦ 2 storey village + occasional rooms in the attic
- ♦ Domestic scale
- ♦ Occasional small dormers
- ♦ Traditional Vernacular Forms
- ♦ Ridge lines mostly in line with street
- ♦ Small front gardens common
- ♦ No visible sustainability features
- ♦ Countryside boundaries are immediate at the periphery
- ♦ River dominates village character and is heart of the village
- ♦ Local stone and flint used in boundary perimeter walls
- ♦ Strong tradition of enclosing front gardens
- ♦ Good views of Downs and Hangars
- ♦ Medium/ high density at the centre – moving to looser knit at the periphery
- ♦ Fine grained
- ♦ Car parking to side/ in backyards – not on frontages

Things you won't find often in East Meon

Formal set-piece layouts
 Open plan frontages
 Sustainability Kit
 Raised pavements
 Enclosed porches
 Glazed sunrooms to frontage
 Shutters
 Balconies
 Railings
 Bollards
 Original paving/ kerbs
 Large glazed areas
 Steel cladding
 Single pitch or flat roofs

Pattern Book Conclusions

The Characterisation study has recorded the details of the built form of the village at series of scales bought together as a single record in the form of a comprehensive street survey.

This is an objective assessment of the character of village streets and builds to provide a picture of the village, and together with earlier studies, particularly the earlier very comprehensive work completed in the original VDS in 1999 and the recent consultation responses. This together forms this pattern book, which visually records the key features, and offers narrative on each feature of the built environment.

The list above is a summary of the key features that are apparent from the survey work. The second list is a note of features not commonly found within the village. It is important to consider what elements are missing in townscape at the introduction of these in new development is likely to be inappropriate.

This stage of characterisation is part of the ongoing process to help East Meon retain its local distinctiveness, the application of the 'design policies' based on what is found in the built environment (the evidence from street surveys) needs to be employed by the designers of the developments within the village and are proposed for inclusion in the neighbourhood plan so they can be applied rigorously



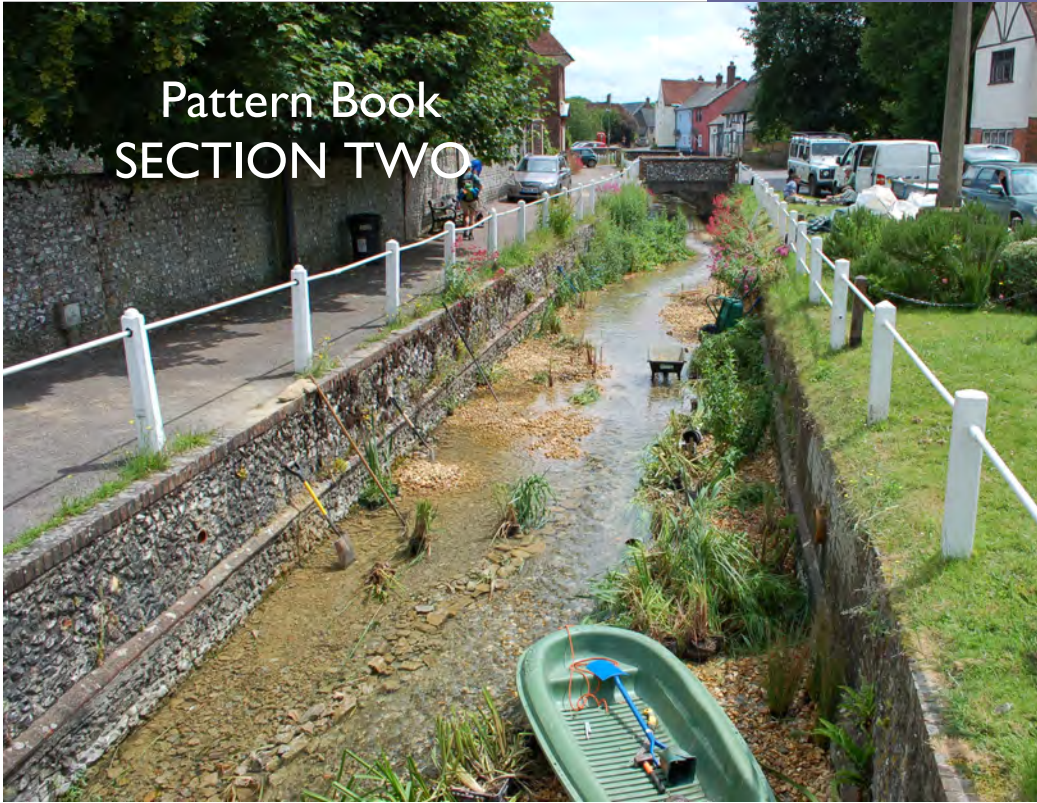
Materials - Visual Reference



"Throughout, there is a wealth of diversity of building materials and details, notably flint walling, handmade bricks, clay tiles, Welsh slates and thatch. The stone of the great Hall of the Courthouse followed by brick, timber beams and some Flint. Then comes the timbers of the many Tudor buildings, notably Heycroft, the Tudor house and forwards cottage, followed by the brick of church cottage, cross keys and Glenthorne. Flint walls are a feature of all periods – of which the most notable example is the Victorian almshouses. Some old buildings and many modern houses have boarded exteriors."

VDS 1998

Pattern Book SECTION TWO



Street Surveys Index

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Anvil Close

Anvil

Type: Extended Cluster

Street Name	Anvil Close
Description –Extended Cluster/ Modern cul-de -sac	Extended cul-de sac, form former farm yard cluster outward facing to downs, visually dominant – unsympatheic modern forms
Location: Rural, Edge, General, Centre, Core	
Typology: Block, Terrace, Semi, Villa, Townhouse, Cottage, House	
Conservation Area Yes/ No	
Location, Layout and Setting	
Block structure, plan form and dimensions	Cul-de-sac, a former cluster around Belmont Farm
Vehicular routes hierarchy + connections	Dead end
Land form and relation to contours	Valley floor
Junction positions	Awkward curved entrance from Temple Lane
Street frontage plot widths	5-10m
Plot depths	25m
Gaps between buildings % of openness	<10%
Pavement	None
Landscape Setting	Open on edge of village to the Downs
Level changes	None
Density	Medium
Regularity of space	Regular
Townscape/ spatial analysis	
Enclosure ratios	NA
Connections/ links	None
Spaces	None
Tree/Vegetation Cover	None
Views and Vistas	South views of the Downs
Roofscape and Skyline	Controversial dormers on more recent dwellings
Roof forms and orientation	Dormers consented against Parish advice
Pedestrian desire lines	None
Corner buildings/ markers and focus points	Former Belmont Farm Buildings
Activity/ prevailing uses	Residential
Parking	On plot
Detail	
Dominant architectural style/ age	20thC
Key architectural devices	None
Fenestration	Stained and painted small pane casements
Porch details	Simple lean to style
Building Line	None
Set-back from pavement	2-3m
Boundary treatment – heights, materials	None
Storey heights	2 – with exception of roof dormers
Colour and Materials -elevations	Brick and render
Colour and Materials - streetscape	Block paving
Street Furniture	None
Visible Sustainability Features	Some solar panels
Pattern Book Lessons	
Typology – extended cluster	<div>Key Features –dominated by 20th C dwellings lacking contextual design and materials</div> <div>Lessons- Key lesson is the inappropriate use of roof accommodation and impact on outer edge of village, poor use of street materials – highly suburban in character</div>

Chapel Street



Type Village Street

Street Name	Chapel Street
Description	Very busy village street leading to Hill View, Coombe Road, Duncombe Road, Garston Close, The Green and out of the village
Location: Rural, Edge, General	
Typology: Bungalow, Cottage, House, School	
Conservation Area north end only	

Location, Layout and Setting			
Block structure, plan form and dimensions	Village street with irregular sited buildings. The school, a mix of bungalows and houses and a 17 th C cottage, wood built bus shelter		
Vehicular routes hierarchy + connections	Heavy traffic due school and route to Hill View, Coombe Rd, Duncombe Rd, Garston Close, The Green and out of the village to the south. T junction to Hill View, From the corner the street becomes Coombe Rd		
Land form and relation to contours	Rises from river valley to the north		
Junction positions	informal crossroads at the Square, T junction to Hill View which is used as a turning area for the school bus, road changes name to Coombe Rd at corner		
Street frontage plot widths	From 22.4 to 15.3 metres		
Plot depths	From 23.9 to 28.9 metres		
Gaps between buildings % of openness	Very irregular, 50% open		
Pavement	On the east side from the Square and into Hill View then on the west side continues into Coombe Rd		
Landscape Setting	On land rising to the south		
Level changes	Rise of road to south, land rises to east and west – gardens and buildings above road.		
Density	low		
Regularity of space	Very irregular		
Townscape/ spatial analysis			
Enclosure ratios	Enclosed at north end		
Connections/ links	Linked to the Square, Hill View, Coombe Rd		
Spaces	School playing field on west side		
Tree/Vegetation Cover	grass verges and small trees, Dense group of trees at corner of street, Garden and school land vegetation		
Views and Vistas	To the south dense trees at corner stop view. To the north view down The Cross other views stopped by Cross House on the Square		
Roofscape and Skyline	Chimneys		
Roof forms and orientation	Pitch roof parallel to building line, some hipped [gable ends, one dormer. One thatched roof. Clay tiles, slate		
Pedestrian desire lines	Due to change of pavement from east to west pedestrians cross the road randomly.		
Corner buildings/ markers and focus points	At the north end 16thC house which fronts onto Workhouse Lane		
Activity/ prevailing uses	Residential, educational		
Parking	in garages & driveways, layby near school and on the road		
Detail			
Dominant architectural style/ age	Predominantly 19thC & 20 th C, one 17 th C cottage		
Key architectural devices	none		
Fenestration	White painted wood and uPVC, small panes, casement, fixed and bay windows		
Porch details	One – wood, pitched roof		
Building Line	Very irregular		
Set-back from pavement	2.2 to 8.2 metres front gardens		
Boundary treatment – heights, materials	Low brick and flint walls. low and high evergreen hedges		
Storey heights	One and two storey,		
Colour and Materials -elevations	Brick, flint, painted brick & flint [various colours], some clay tile hanging and timber cladding		
Colour and Materials - streetscape	Tarmac with grass verges		
Street Furniture	3 street lights		
Visible Sustainability Features	none		
Pattern Book Lessons			
Typology	Key Features Loose village structure has developed with no regularity of plots or buildings or buildings		Lessons- Respect for scale, retains village

Chidden Close

Type Unadopted Cul-de-Sac




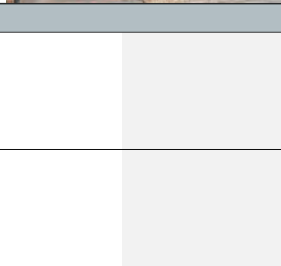
Street Name	Glenthorne Meadow	
Description	Quiet road with bungalows and one 19 th C house	
Location: Rural, General, Centre, Core		
Typology: Semi, flats		
Conservation Area No except for Bottle Cottage		
Location, Layout and Setting		
Block structure, plan form and dimensions	L-shaped road, buildings sited on the south side of the second half of road, single house at junction of Workhouse Lane end	
Vehicular routes hierarchy + connections	No through road, connects to Workhouse Lane	
Land form and relation to contours	Rises from Workhouse Lane to corner then flat to end	
Junction positions	T junction with Workhouse Lane	
Street frontage plot widths	Predominately between 14 to 18 meters one 50 meters	
Plot depths	Predominately 51.4 meters one 11.8 meters	
Gaps between buildings % of openness	Between bungalows 15% otherwise 75%	
Pavement	none	
Landscape Setting	On land rising to the south	
Level changes	Bungalows above level of house at Workhouse Lane end	
Density	low	
Regularity of space	Bungalows regularly spaced	
Townscape/ spatial analysis		
Enclosure ratios	Closed at Workhouse Lane end	
Connections/ links	Linked to Workhouse Lane	
Spaces	Large grass verge to west	
Tree/Vegetation Cover	Small trees & bushes in verges, large trees & bushes in gardens, ivy on house- heart shaped on wall	
Views and Vistas	North Park Hill above buildings, south gardens back onto school land	
Roofscape and Skyline	chimneys	
Roof forms and orientation	Most pitched roofs parallel to road, one at 90 degrees. Clay and concrete tiles	
Pedestrian desire lines	Road is a shared space	
Corner buildings/ markers and focus points	Bottle Cottage on corner of Workhouse Lane	
Activity/ prevailing uses	residential	
Parking	On plots	
Detail		
Dominant architectural style/ age	20 th C, one 19 th C	
Key architectural devices	none	
Fenestration	White uPVC and painted wood, small panes, casement, fixed	
Porch details	One enclosed pitched roof	
Building Line	Bungalows regular	
Set-back from pavement	No pavement, front gardens 7.5 to 10.7 meters	
Boundary treatment – heights, materials	High and low brick walls, high and low hedges, some trimmed, others untrimmed mix ed deciduous & evergreen	
Storey heights	Predominately one storey one two storey	
Colour and Materials -elevations	Red brick, flint	
Colour and Materials - streetscape	Tarmac and grass verges	
Street Furniture	No lighting, Electricity transformer on north side towards the end of the road	
Visible Sustainability Features	Solar & photovoltaic panels on south facing tiled roof	
Pattern Book Lessons		
Typology	Key Features	Lessons-
Modern grid extension/ cluster hybrid	Low-rise development	Appropriate scale and planting integrate the development within village character

Church Street

Street Name	Name	Type: Connecting grid street	
Description	An original connecting street, oriented shorter street, key entrance to village centre – dominated by listed buildings, flint dominates as a facing material		
Location: Rural, Edge, General, Centre, Core			
Typology: Block, Terrace, Semi, Villa, Townhouse, Cottage, House			
Conservation Area Yes/ No			
Location, Layout and Setting			
Block structure, plan form and dimensions	Part of original grid N-S link		
Vehicular routes hierarchy + connections	Connects to main through route at north end		
Land form and relation to contours	Valley Floor		
Junction positions	Wide sweeping T junction with main road		
Street frontage plot widths	Varied		
Plot depths	Varied		
Gaps between buildings % of openness	30-40%		
Pavement	Narrow pavement one side		
Landscape Setting	Downs and Hangars N and S		
Level changes	None		
Density	Medium		
Regularity of space	Irregular		
Townscape/ spatial analysis			
Enclosure ratios			
Connections/ links	Key vehicular linking route north and south		
Spaces	None		
Tree/Vegetation Cover	Good boundary vegetation on east		
Views and Vistas	Strong vista to the Church		
Roofscape and Skyline	Dominated by the spire of the Church, and strong chimneys		
Roof forms and orientation	In line with the road		
Pedestrian desire lines	Along pavement		
Corner buildings/ markers and focus points	The White House – strong corner building. The Church		
Activity/ prevailing uses	Residential		
Parking	Significant on-street parking		
Detail			
Dominant architectural style/ age	1800s		
Key architectural devices	Use of flint		
Fenestration	Painted timber sliding sash and casements		
Porch details	Simple square hoods		
Building Line	Not regular		
Set-back from pavement	Yes- Varies		
Boundary treatment – heights, materials	Highly attractive low flint walls with coping		
Storey heights	Single and two		
Colour and Materials -elevations	Flint and render		
Colour and Materials - streetscape	Tarmac		
Street Furniture	None		
Visible Sustainability Features	None		
Pattern Book Lessons			
Typology –Grid Street	Key Features – Dominant views of the Church	Lessons-harmonious use of materials and high quality enclosure	

Coombe Road East

Type – extended grid

Street Name	Name		
Description	Part of the extended grid of the village, dominated by 20thC housing		
Location: Rural, Edge, General, Centre, Core			
Typology: Block,Terrace, Semi, Villa, Townhouse, Cottage, House			
Conservation Area Yes/ No			
Location, Layout and Setting			
Block structure, plan form and dimensions	Single sided street		
Vehicular routes hierarchy + connections	Route out to Coombe		
Land form and relation to contours	Land rising to south		
Junction positions	Curved join with Chapel Street		
Street frontage plot widths	10 metres		
Plot depths	Very deep plots 40m+		
Gaps between buildings % of openness	<15%		
Pavement	Limited section only		
Landscape Setting	Sweep from the downs opposite		
Level changes	Rising land		
Density	Medium		
Regularity of space	Regular		
Townscape/ spatial analysis			
Enclosure ratios	None		
Connections/ links	None		
Spaces	None		
Tree/Vegetation Cover	Rear Garden trees –some of maturity		
Views and Vistas	Open view to south to the Downs		
Roofscape and Skyline	Simple pitched roof with gable end chimneys, some mansard		
Roof forms and orientation	Some mansards and simple pitch, ridge in line with road		
Pedestrian desire lines	None		
Corner buildings/ markers and focus points	None		
Activity/ prevailing uses	Residential		
Parking	Mostly at rear – some on frontage		
Detail			
Dominant architectural style/ age	20 th C Municipal housing		
Key architectural devices			
Fenestration	UPVC windows		
Porch details	Simple open hood		
Building Line	Staggered		
Set-back from pavement	5-8m		
Boundary treatment – heights, materials	Picket fencing and hedging		
Storey heights	2		
Colour and Materials -elevations	Red brick, clay tile		
Colour and Materials - streetscape	tarmac		
Street Furniture	None		
Visible Sustainability Features	Some PV panels		
Pattern Book Lessons			
Typology – Extended grid	Key Features – linear pattern,	Lessons-The dominance of incongruous roof forms	

Coombe Road West




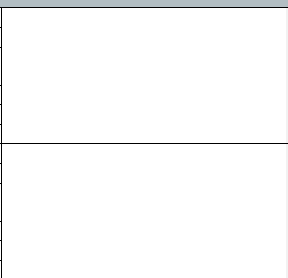
Street Name	Name
Description	Part of the extended grid of the village, dominated by 20thC housing infilling to farm cluster
Location: Rural, Edge, General, Centre, Core	
Typology: Block, Terrace, Semi, Villa, Townhouse, Cottage, House	
Conservation Area Yes/No	

Location, Layout and Setting		
Block structure, plan form and dimensions	Converted farm buildings, a pair of Victorian semis and a small development of social housing on one side only	
Vehicular routes hierarchy + connections	Minor exit route to the hamlet of Coombe heavily used by farm vehicles	
Land form and relation to contours	Steep fall to the west and the valley bottom	
Junction positions	None	
Street frontage plot widths	12 – 20 M	
Plot depths	16 – 64M	
Gaps between buildings % of openness	50%	
Pavement	None	
Landscape Setting	On the side of a valley with high ground to the south and west	
Level changes	Lies within valley bottom, gentle rise	
Lo	Low	
Regularity of space	Irregular	
Townscape/ spatial analysis		
Enclosure ratios	NA	
Connections/ links	Linked to Chapel St., and to the hamlet of Coombe	
Spaces	None	
Tree/Vegetation Cover	Occasional small trees to the south, more mature trees in gardens	
Views and Vistas	Views south over fields to Small Down, view north to Park Hill and view west to Hen Wood –highly visible group	
Roofscape and Skyline	Chimneys and small dormers	
Roof forms and orientation	Ridge mostly in line with road with some gables at 90 degrees	
Pedestrian desire lines	Used by walkers to the South Downs Way	
Corner buildings/ markers and focus points	Modern Hawthorn Cottages at N/E corner	
Activity/ prevailing uses	Residential	
Parking	All properties have their own parking.	
Detail		
Dominant architectural style/ age	Brick and flint, red brick some rendered	
Key architectural devices		
Fenestration	Modern upvc with some stained hardwood	
Porch details	Limited side porch	
Building Line	Irregular	
Set-back from pavement	Two extremes, no set back and some 50 m	
Boundary treatment – heights, materials	Mostly mixed hedging	
Storey heights	2	
Colour and Materials -elevations	Red brick, some rendered, some brick and flint	
Colour and Materials - streetscape	None	
Street Furniture	None	
Visible Sustainability Features		
Pattern Book Lessons		
Typology- extended grid	Key Features – varied forms	Lessons- Scale important, as this group is exposed to significant views, any new development must consider this.

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Duncombe Rd.

Street Name	Name
Description	20thC extension to the formal grid, well executed social housing
Location: Rural, Edge, General, Centre, Core	
Typology: Block, Terrace, Semi, Villa, Townhouse, Cottage, House	
Conservation Area Yes/ No	

Location, Layout and Setting		
Block structure, plan form and dimensions	Linear Street, single sided development	
Vehicular routes hierarchy + connections	Tertiary route leads to The Green but no through road for vehicles	
Land form and relation to contours	Relatively sleep on valley side down to the north.	
Junction positions	T junction with Coombe Road	
Street frontage plot widths	Pairs of semi detached houses width of each 5m	
Plot depths	20m	
Gaps between buildings % of openness	Less than 20%	
Pavement	Pavement on one side with grass verge and trees	
Landscape Setting	Valley side, enclosed by rising land to south	
Level changes	Dwelling step down the slope	
Density	Medium	
Regularity of space	regular Street pattern –highly planned	
Townscape/ spatial analysis		
Enclosure ratios	Only enclosed on one side	 
Connections/ links	Linked to The Green and Garston Close	
Spaces	On both sides of the entrance to Garston Close, on opposite side to dwellings	
Tree/Vegetation Cover	Small street trees on west, more substantial tree cover to east	
Views and Vistas	Views south to farmland- land rises to contain views	
Roofscape and Skyline	Regular with chimneys and some gables	
Roof forms and orientation	Ridge in line with road, some gables at 90 degrees to road	
Pedestrian desire lines	Route to the Green	
Corner buildings/ markers and focus points	None	
Activity/ prevailing uses	Residential	
Parking	At the side of the house, some frontage, plus on street overflow	
Detail		
Dominant architectural style/ age	1980s	
Key architectural devices	None	
Fenestration	Two distinct styles- white painted small panes, dark stained large panes	
Porch details	Limited side porch- open hoods	
Building Line	Generally conform with limited variation	
Set-back from pavement	Large frontage set backs of 10m	
Boundary treatment – heights, materials	Mixture of hornbeam hedges and low timber rails	
Storey heights	2	
Colour and Materials -elevations	Mixed soft buff and red brick with red banding plus hung tiles, some clay, some concrete	
Colour and Materials - streetscape	Tarmac and grass	
Street Furniture	Municipal galvanised lighting columns	
Visible Sustainability Features	None	
Pattern Book Lessons		
Typology –Cul –de –sac	Key Features –Spacious Layout	Lessons-

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Garston Close

Name	Garston Close	
Description	20 th C cul –de –sac of social housing, mixed access arrangements, high density	
Location: Rural, Edge, General, Centre, Core		
Typology: Block,Terrace, Semi, Villa, Townhouse, Cottage, House		
Conservation Area Yes/ No		
Location, Layout and Setting		
Block structure, plan form and dimensions	Cul de sac for vehicles but footpath to 2, 4 and 6 Duncombe Rd.	
Vehicular routes hierarchy + connections	Accessed via Duncombe Rd.	
Land form and relation to contours	Slight rise to the East	
Junction positions	Tee junction with Duncombe Rd	
Street frontage plot widths	5-9 m	
Plot depths	25 to 30 m	
Gaps between buildings % of openness	Less than 2%	
Pavement	Tarmac both sides with grass and trees	
Landscape Setting	Land rises slightly to south	
Level changes	Small	
Density	High	
Regularity of space	Regular street pattern, highly planned	
Townscape/ spatial analysis		
Enclosure ratios	Enclosed	
Connections/ links	Linked to Duncombe Rd.	
Spaces	Small area of grass on south	
Tree/Vegetation Cover	Trees to south	
Views and Vistas	None	
Roofscape and Sykline	Regular with some gables	
Roof forms and orientation	Ridge line with road with some gables at 90 degrees	
Pedestrian desire lines	Route to Duncombe Rd	
Corner buildings/ markers and focus points	None	
Activity/ prevailing uses	Residential	
Parking	Some front plus off road parking bays	
Detail		
Dominant architectural style/ age	20thC	
Key architectural devices	None	
Fenestration	Stained casements	
Porch details	Simple lean to style	
Building Line	Regular	
Set-back from pavement	2-10m	
Boundary treatment – heights, materials	Some low fences and hedges	
Storey heights	2 –	
Colour and Materials -elevations	Brick and render	
Colour and Materials - streetscape	Tarmac	
Street Furniture	Standard street ligts	
Visible Sustainability Features	Some solar panels	
Pattern Book Lessons		
Typology – extended cluster	Key Features	Lessons- Well planned layout

Glenthorne Meadow

Type Cul-de-Sac

Street Name		Glenthorne Meadow
Description		Mix of private and social housing of similar 20thC construction
Location: Rural, General, Centre, Core		
Typology: Semi, flats		
Conservation Area No		
Location, Layout and Setting		
Block structure, plan form and dimensions	One block of 4 flats otherwise semis on both sides of road and round turning circle at south end. Electricity substation set back on east side at north end	
Vehicular routes hierarchy + connections	Connects to High Street at north end	
Land form and relation to contours	Rises to the south from the river	
Junction positions	T junction with High Street	
Street frontage plot widths	9.2 to 12 meters	
Plot depths	38.7 to 45.0 meters	
Gaps between buildings % of openness	40%	
Pavement	Tarmac with grass verge	
Landscape Setting	Sited on rising land from the river valley	
Level changes	At north end land above road on both sides, slight stepping of houses sited east and west, flat at south end	
Density	medium	
Regularity of space	Regular street pattern	
Townscape/ spatial analysis		
Enclosure ratios	Enclosed to south, east and west	
Connections/ links	Road linked to High Street, also footpath from west side of turning circle leads to garages at Hill View and to the High Street	
Spaces	grass areas on raised land each side of north end used as play area	
Tree/Vegetation Cover	Mature trees on grass areas, hedges and garden vegetation	
Views and Vistas	To north Park Hill through the trees, south views stopped by buildings were gardens back onto Temple Lane gardens	
Roofscape and Skyline	chimneys	
Roof forms and orientation	Pitched, parallel to the building line except round the turning circle	
Pedestrian desire lines	Route to housing and pathway at south end	
Corner buildings/ markers and focus points	The mature trees at either side of the north end are focus points	
Activity/ prevailing uses	domestic	
Parking	On plots and the road	
Detail		
Dominant architectural style/ age	1950s	
Key architectural devices	none	
Fenestration	uPVC frames, small panes, casement and fixed	
Porch details	Simple flat metal and wood, pitched tile, occasional enclosed	
Building Line	Generally conforms	
Set-back from pavement	Frontage set backs, gardens 5.7 to 20.5 meters	
Boundary treatment – heights, materials	Low brick walls, low & medium evergreen hedges, low panel fences	
Storey heights	Two storey	
Colour and Materials -elevations	Red brick, clay & concrete tiles	
Colour and Materials - streetscape	Tarmac and grass	
Street Furniture	2 street lamps, 2 wood & metal traditional benches	
Visible Sustainability Features	none	
Pattern Book Lessons		
Typology	Key Features	Lessons-
Modern Grid	Spacious layout	Dwellings need visual interest and variety to work with village character

High Street East

Type Main street
through village

Street Name	High Street
Description	Main through street to the east leading to Frogmore, Ramsdean, Leydene, Clanfield & the A3. 7 listed timber frame buildings including oldest in the village, 6 thatched. 2 terraces & semi/detached houses, some listed 14thC -20thC
Location: Centre, Core	
Typology: Block,Terrace, Semi, , Townhouse, Cottage, House	
Conservation Area Yes	

Location, Layout and Setting		
Block structure, plan form and dimensions	Village street with irregular sited buildings mid 14 th to 20 th C	
Vehicular routes hierarchy + connections	Busy street leading to Frogmore, the cricket field and out of the village	
Land form and relation to contours	Short run along river then rises to the east out of the village. Land rises to varying heights above the street to the north and south -1 - 2 metres	
Junction positions	T junction at Temple Lane, offset T junction at Frogmore Lane	
Street frontage plot widths	4.92 to 80.31 metres	
Plot depths	24.08 to 103.18 metres	
Gaps between buildings % of openness	Very irregular – 50% open	
Pavement	Short pavement from telephone box to Forge Sound	
Landscape Setting	Crosses east-west through the village center along river then rises to the east	
Level changes	Where land rises buildings to the south sit above the road	
Density	medium	
Regularity of space	irregular	
Townscape/ spatial analysis		
Enclosure ratios	Becomes progressively more enclosed as the road rises to the east	
Connections/ links	Linked to Temple Lane & Frogmore Lane	
Spaces	Washers Triangle next to river, grass areas of unfenced gardens, Cricket Field north at top of rise	
Tree/Vegetation Cover	high hedges of mixed evergreen as road rises, single tree in open garden opposite Forge Sound, 6 large trees on south bank as road leaves village, spinney of small trees on north	
Views and Vistas	North - Park Hill, beyond buildings, south - houses & gardens, east - farmland & Butser Hill, west - blocked by buildings	
Roofscape and Skyline	chimneys	
Roof forms and orientation	All pitched parallel or slightly off parallel to road. 6 thatched, slate, old & new clay tiles, 1 corrugated concrete	
Pedestrian desire lines	Narrow tarmac pavement along Washers Triangle to Forge Sound. Otherwise pedestrians walk in the road	
Corner buildings/ markers and focus points	Forge Sound [14thC] & Forge Cottage	
Activity/ prevailing uses	Residential, public house, sports	
Parking	Garages, driveways, parking layby, on bridge, pub car park	
Detail		
Dominant architectural style/ age	traditional village buildings of varying types. 14 th to 20 th C	
Key architectural devices	none	
Fenestration	Generally white painted wood, some uPVC, casement, sash, fixed, small panes	
Porch details	Small number of wood/pitched slate. 1 decorative timber	
Building Line	irregular	
Set-back from pavement	Set back from road 2.06 to 29.71 metres	
Boundary treatment – heights, materials	Low/medium flint/brick walls with mixed evergreen hedges above - up to 1.80 mts above road, wood panel, wood rail	
Storey heights	Predominantly 2 occasional 2 1/2 and 3	
Colour and Materials -elevations	Flint, old/new brick, painted plaster/brick (cream, blue, pink)	
Colour and Materials - streetscape	Tarmac	
Street Furniture	phone box, 2 wood/metal benches, new street lighting	
Visible Sustainability Features	None	
Pattern Book Lessons		
Typology	Key Features	Lessons-
Part of original grid	Irregular plots and varying ages and types of houses lead to an interesting streetscape with several listed buildings which forms the centre of the village	Variety of styles, materials and forms help to create visual interest

The Green

Type Courtyard development

Street Name	The Green
Description	20 th C development of 20 houses sited round parking/turning area south of the green.
Location: Rural, Edge, General, Centre, Core	
Typology: Block, Terrace, Semi, Villa, Townhouse, Cottage, House	terrace, semi, detached houses
Conservation Area Yes	



Location, Layout and Setting	
Block structure, plan form and dimensions	Buildings sited north, south and west sides of parking/garage area
Vehicular routes hierarchy + connections	Accessed via Duncombe road
Land form and relation to contours	Slight fall to the north
Junction positions	Duncombe road continues directly into the Green
Street frontage plot widths	From 6.5 to 10.6 metres
Plot depths	From 14.7 to 22.6 metres
Gaps between buildings % of openness	North & south 1%, irregular to the west
Pavement	none
Landscape Setting	Sited south of the green. Open fields and Hen Wood to the west, Park Holl to the north east
Level changes	Slight fall towards the river valley
Density	medium
Regularity of space	Regular planned street-like pattern north & south. Irregular to west
Townscape/ spatial analysis	
Enclosure ratios	Open to the west
Connections/ links	Linked to Duncombe road
Spaces	village green to the north
Tree/Vegetation Cover	Few small trees and bushes, small grassed areas & garden vegetation
Views and Vistas	North the green, Workhouse lane, mature trees & Park Hill West –the Glebe strip high hedges, open fields & Hen Wood
Roofscape and Skyline	Varying roof forms and chimneys form interesting skyline
Roof forms and orientation	Clay tile & slate, pitch roofs parallel with building line, some gable ends at 90 degrees, some cat slides, dormer windows...occasional decorative barge boards
Pedestrian desire lines	Frequently used unmarked route from Duncombe Road across parking area to the green pathway via tarmac path between houses on the north side
Corner buildings/ markers and focus points	none
Activity/ prevailing uses	residential
Parking	In garages & designated places
Detail	
Dominant architectural style/ age	20 th C use of traditional features
Key architectural devices	traditional
Fenestration	White painted wood, uPVC, small pane, sash, casement, bow, bay, small round. Some use of heavy window sections has resulted in windows that hardly fulfil their function
Porch details	Simple flat, pitch, enclosed
Building Line	North & south regular, west irregular
Set-back from pavement	No pavement One to two metre front gardens
Boundary treatment – heights, materials	Low & medium brick and flint walls with metal gates designed by the local primary school, medium ht wood panel, low post and rail
Storey heights	Predominately two storey with occasional two and a half and three storeys
Colour and Materials –elevations	Flint, red brick, painted render, creams, blue
Colour and Materials - streetscape	Dark block paving, some grey areas, some sand coloured semi permeable areas
Street Furniture	None, no street lighting
Visible Sustainability Features	Black framed photovoltaic panels on south facing slate roof
Pattern Book Lessons	
Typology	Key Features
Modern grid extension	A successful 20 th C development despite the use of some urban features such as parapits and bow windows which are not found in the village.
	Lessons- Too many urban features would result in an unsuitable development for a rural location.



Hill View

Type 20th C planned layout

Street Name	Hill View		
Description	20thC Cul-de-sac of local authority housing, infill of earlier grid		
Location: Rural, Edge, General, Centre, Core			
Typology: Block,Terrace, Semi, Villa, Townhouse, Cottage, House, Bungalow			
Conservation Area Yes/ No			
Location, Layout and Setting			
Block structure, plan form and dimensions	'L shaped cul-de-sac		
Vehicular routes hierarchy + connections	Linking footpath to High Street and Temple Lane		
Land form and relation to contours	Flat, but rising from High Street		
Junction positions	Elbow		
Street frontage plot widths	10 metre		
Plot depths	20m		
Gaps between buildings % of openness	10%		
Pavement	Both sides		
Landscape Setting	Back drop of Park Hill and Downs		
Level changes	Slight drop to High Street		
Density	Medium		
Regularity of space	Regular planned development		
Townscape/ spatial analysis			
Enclosure ratios	Irregular single storey opposite two storey		
Connections/ links	High Street/ Temple Lane		
Spaces	None		
Tree/Vegetation Cover	Some trees in gardens		
Views and Vistas	Views to Park Hill		
Roofscape and Sykline	Chimneys on ridges, pitched roofs		
Roof forms and orientation	In line with road and at 45 degrees		
Pedestrian desire lines	To footpath		
Corner buildings/ markers and focus points	45 degree bungalows		
Activity/ prevailing uses	Residential		
Parking	Mix of on plot and on-street		
Detail			
Dominant architectural style/ age	20 th C		
Key architectural devices			
Fenestration	UPVC		
Porch details	Simple open hoods		
Building Line	Varied		
Set-back from pavement	8m		
Boundary treatment – heights, materials	Mostly low hedges, some fencing		
Storey heights	Single and two		
Colour and Materials -elevations	Dull brick, concrete tiles		
Colour and Materials - streetscape	Tarmac		
Street Furniture	Grey lamp posts		
Visible Sustainability Features	None		
Pattern Book Lessons			
Typology- planned 20thc	Key Features – 'Anywhere' development	Lessons- Avoid the lack of local distinctive features.	

Temple Lane


Type – modern infill grid

Street Name		Temple Lane		
Description		Part of the original grid with modern 20thC infil		
Location: Rural, Edge, General, Centre, Core				
Typology: Block, Terrace, Semi, Villa, Townhouse, Cottage, House				
Conservation Area Yes/ No				
Location, Layout and Setting				
Block structure, plan form and dimensions	Narrow link to main street grid, expanded by 20thC infil			
Vehicular routes hierarchy + connections	Linking originally to cluster of Belmont Farm			
Land form and relation to contours	Rising from High Street			
Junction positions	Right angle and T junctions			
Street frontage plot widths	Varied			
Plot depths	Consistent where development planned 20thC			
Gaps between buildings % of openness	Mixed			
Pavement	None			
Landscape Setting	Backdrop of Park Hill			
Level changes	Rising from High Street			
Density	High			
Regularity of space	varied			
Townscape/ spatial analysis				
Enclosure ratios	Tight street			
Connections/ links	Links Chapel Street and High Street			
Spaces	None			
Tree/Vegetation Cover	Overgrown hedging			
Views and Vistas	Enclosed -none			
Roofscape and Sykline	Not distinct at street level			
Roof forms and orientation	Varied			
Pedestrian desire lines	To High Street and Chapel Street			
Corner buildings/ markers and focus points	None			
Activity/ prevailing uses	Residential			
Parking	On plot			
Detail				
Dominant architectural style/ age	Mixed			
Key architectural devices	None			
Fenestration	Mixed			
Porch details	Mixed			
Building Line	Mixed			
Set-back from pavement	None			
Boundary treatment – heights, materials	Mostly hedging			
Storey heights	2			
Colour and Materials -elevations	Brick and Clay tile			
Colour and Materials - streetscape	Tarmac			
Street Furniture	None			
Visible Sustainability Features	None			
Pattern Book Lessons				
Typology	Key Features Mixed charcter, extension to grid dominated by mid century development not sympathetic to traditional form. Layout leaves an inconsistent street form and access is very narrow.	Lessons-		

Part of original grid

The Cross

Type –original linking street

Street Name		The Cross		
Description		Historic linking street , orientation N-S, very narrow and enclosed, part of historic grid		
Location: Rural, Edge, General, Centre, Core				
Typology: Block,Terrace, Semi, Villa, Townhouse, Cottage, House				
Conservation Area Yes/ No				
Location, Layout and Setting				
Block structure, plan form and dimensions	Narrow north –south link			
Vehicular routes hierarchy + connections	Links High Street and main through route			
Land form and relation to contours	Valley floor			
Junction positions	At either end of the street			
Street frontage plot widths	Varies			
Plot depths	Varies			
Gaps between buildings % of openness	On west side – very little opening less than 10%			
Pavement	None			
Landscape Setting	Enclosed in centre of village, vegetation east of street dominant			
Level changes	None			
Density	high			
Regularity of space	Irregular –organic growth			
Townscape/ spatial analysis				
Enclosure ratios	Tight			
Connections/ links	N and S			
Spaces	River channel to east side			
Tree/Vegetation Cover	Vegetation on eastern side from gardens			
Views and Vistas	None			
Roofscape and Sycline	Chimneys and roof			
Roof forms and orientation	Thatch, pitched tiles and dormers			
Pedestrian desire lines	Along street			
Corner buildings/ markers and focus points	None			
Activity/ prevailing uses	Residential			
Parking	On plot –street too narrow			
Detail				
Dominant architectural style/ age	1800s			
Key architectural devices	Enclosure			
Fenestration	Timber casements, small panes			
Porch details	Simple small open porches			
Building Line	Strong on west side			
Set-back from pavement	None on west, river on east			
Boundary treatment – heights, materials	Low retaining wall for river			
Storey heights	One and two			
Colour and Materials -elevations	Brick and Render, thatch and clay tile			
Colour and Materials - streetscape	Tarmac			
Street Furniture	None			
Visible Sustainability Features	None			
Pattern Book Lessons				
Typology –linking n/s street formed part of original grid	Key Features – river runing n/s, very tight to back edge of highway		Lessons- Good example of enclosure that creates intimate street scene and prevents on-street parking	

Workhouse Lane

Street Name	Workhouse Lane
Description	Busy lane runs along side of the village green. Two 16 th C houses & 17 th C cottages mixed with 20 th C bungalows and houses
Location: Rural, Edge, General, Centre, Core	
Typology: Block, Terrace, Semi, Villa, Townhouse, Cottage, House	

Conservation Area Yes

Location, Layout and Setting			
Block structure, plan form and dimensions	Village street with irregular sited buildings. 16 th C to 20 th C		
Vehicular routes hierarchy + connections	Used as a rat run from main road to centre & routes through the village, also access to village hall, pavilion & football pitch, car park and Chidden Close		
Land form and relation to contours	Slight fall from main road junction to corner then slow rise to the Square. To the south land rises above the lane at the green and levels out from Chidden Close junction		
Junction positions	T junction with main road and Chidden Close Informal cross roads at the pavilion and the Square		
Street frontage plot widths	16.9 to 22.3 meters		
Plot depths	South side 65.1 to 27.7 meters. North side 37.8 to 25.7 meters		
Gaps between buildings % of openness	irregular		
Pavement	None		
Landscape Setting	Sits in the river valley below Park Hill to the north with open land to the west		
Level changes	Bungalows on south side land rise sited above the lane		
Density	low		
Regularity of space	irregular		
Townscape/ spatial analysis			
Enclosure ratios	Enclosed at the village end of the road		
Connections/ links	Linked to main road, the Square and Chidden Close		
Spaces	The village green south of the lane		
Tree/Vegetation Cover	Attractive mature trees north of the river, new trees on the green to the south. Large ash tree by the green, well kept evergreen hedges along lane		
Views and Vistas	Towards Park Hill above trees to north east, towards Hen Wood to the west and to the green to the south		
Roofscape and Skyline	Attractive thatched roof, chimneys		
Roof forms and orientation	Thatched with hipped gable ends, old and new clay tiles, slate, concrete tile. Most ridges parallel to the lane		
Pedestrian desire lines	The lane is a shared space much used by pedestrians		
Corner buildings/ markers and focus points	Listed 16 th C houses on either side of the village end of the lane		
Activity/ prevailing uses	Residential, sports, community activities		
Parking	On plots, in car park, on the road which slows traffic in this narrow lane		
Detail			
Dominant architectural style/ age	Very mixed 16 th C to 20 th C		
Key architectural devices	mixed		
Fenestration	White painted wood, uPVC casement, fixed, medium and small panes, occasional large window		
Porch details	Few – thatched hood, simple flat, pitched, some enclosed		
Building Line	Irregular – some directly on lane others set back		
Set-back from pavement	No pavement. Front gardens 2.9 to 6.1 meters		
Boundary treatment – heights, materials	Low walls in brick and flint, medium height hedges, low post and rail fence		
Storey heights	Predominately 2 and a half with occasional 3 storey		
Colour and Materials -elevations	Timber frame with flint, simple & herringbone brick infill, old & new red brick, white painted brick, flint & render, tilehanging		
Colour and Materials - streetscape	Tarmac and grass verges		
Street Furniture	Municipal signage, limited lighting - 1 street lamp at village end, three lamps attached to telegraph poles		
Visible Sustainability Features	none		
Pattern Book Lessons			
Typology	Key Features	Lessons- Mixed character is combined by consistent layout and cohesive street	
Part of the original grid	Very loose village structure, individual building types and positions on plots		

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Appendix I - List of Characteristics found in Village – Consultation from February 2015 Drop in

Found most often	Not found/or infrequent
Dwellings situated at immediate back edge of pavement in traditional streets	-Flat or single pitch roofs
-Two storey- occasional three storey dwellings	-large glazed areas
Layout -unplanned settlement developed along river valley predominately east / west, later along main road also predominately east / west but with short connecting north-south streets and most recent less linear but highly planned development south and west of High Street	-balconies
-traditional village vernacular buildings – few grand dwellings in historic core	- exterior shutters
-traditional materials- clay tiles, slate, thatch	-glazed garden rooms to frontage
-flint, brick, timber frame	-bow/bay windows
painted render & brick	-decorative barge boards
-simple strings, occasionally decorative	-parapets
-simple flat or pitched roof porches, occasional enclosed	-timber boarding, shingles to frontage
-ridge lines parallel to road	-bollards
-white frame small paned windows	Large detached dwellings in large plots in village centre
-dormer windows- small	Metal or modern roofing
- views of Downs	solar panels on south facing roofs
-village boundary merges with countryside	Dressed stone facades on dwellings
- Chimneys -brick	
-low brick & flint boundary walls	
- gardens of varying areas, some open to road	
-mixed evergreen hedges heights up to 10 foot	
-some groups of large trees, smaller specimen trees in gardens	